

1 **Ordinance To Amend And Re-Enact Chapter 8 Of The Zoning Ordinance Of The City Of**
2 **Hampton, Virginia Entitled “Special Districts” By Amending Article 3 – Buckroe Bayfront**
3 **Districts.**

4
5 **Whereas**, the public necessity, convenience, general welfare and good zoning practice so
6 require;

7
8 **BE IT ORDAINED** by the Council of the City of Hampton, Virginia that chapter 8 of the Zoning
9 Ordinance of the City of Hampton, Virginia, be amended and re-enacted as follows:

10
11 **CHAPTER 8 – SPECIAL DISTRICTS**

12 ...

13 **ARTICLE 3. BUCKROE BAYFRONT DISTRICTS**

14
15 **Sec. 8-21. Overall Intent of Buckroe Bayfront (BB) Districts.**

- 16
17 (1) The Buckroe Bayfront Districts are intended to be a tool for implementation of the
18 recommendations and policies of the Buckroe Master Plan (2005, as amended),
19 guiding development, redevelopment, and revitalization activities in the Buckroe
20 Bayfront area. Buckroe is a unique place in the Hampton Roads region with a
21 neighborhood and architectural character that is an asset that must be protected
22 and enhanced as new development becomes a part of the Buckroe community.
23 Buckroe's character is based on its dual role as both a Chesapeake Bay
24 beachfront community that draws visitors from areas beyond the neighborhood,
25 and as a primarily single-family residential neighborhood in the City of Hampton.
26 The Buckroe Master Plan (2005, as amended) provides the design principles that
27 reflect these aspects of Buckroe's character, balancing between its two (2) roles
28 and guiding the scale and location for new development and public
29 improvements. The Buckroe Bayfront Districts are also intended to reinforce
30 Buckroe's compact, walkable environment and promote a community design that
31 is environmentally and economically sustainable.
- 32 (2) The City of Hampton has been engaged in the revitalization of the Buckroe
33 neighborhood since 1964 when the first of a series of redevelopment plans was
34 generated. While the scale and nature of the proposed redevelopment in
35 Buckroe has changed over time, the basic premise that the beach represents an
36 asset that could be leveraged for new high quality development to spur
37 revitalization in the greater Buckroe area has remained. The Buckroe Master
38 Plan (2005, as amended) replaces these previous redevelopment plans and the
39 Buckroe Bayfront Districts are a tool to achieve this longstanding objective of the
40 city's efforts in Buckroe.
- 41 (3) As permitted by the Code of Virginia § 15.2-2283 "Purpose of Zoning
42 Ordinances," the Buckroe Bayfront Districts establish standards for development
43 in Buckroe in order to:

- 44 (a) Preserve and extend those elements of the Buckroe neighborhood which
45 contribute to its neighborhood and architectural character through the
46 design and placement of building types.
- 47 (b) Enhance the quality of street spaces through building placement,
48 massing, and design in order to create a safe environment that supports
49 pedestrians, bicyclists, and drivers.
- 50 (c) Create safe public streets, parks, and other areas by designing
51 neighboring buildings to enhance an "eyes on the street/park" effect with
52 windows and primary entrances facing onto public spaces.
- 53 (d) Provide a degree of predictability to property owners and community
54 residents regarding what may be built on land in the community while also
55 allowing for some flexibility in the mixture of land uses.
- 56 (e) Encourage a range of building types and sizes that will accommodate
57 people at all stages of life and allow for an economically diverse
58 community.
- 59 (f) Facilitate the creation of a convenient, attractive, and harmonious
60 community whose planning and architectural design will support long term
61 value and economic stability in the greater Buckroe community.
62
- 63 (4) There shall be five (5) Buckroe Bayfront Districts:
64 (i) BB-1 - Single Family Residential
65 (ii) BB-2 - Mixed Residential
66 (iii) BB-3 - Optional Mixed-Use
67 (iv) BB-4 - Required Mixed-Use
68 (v) BB-5 - Special
- 69 (5) Administration.
70 Small variations in dimensional requirements, representing less than a five foot
71 change to required setbacks or a 10% change to area measurements, as
72 appropriate, from any requirement described in the tables of "General Lot
73 Standards," can be approved by the zoning administrator.
- 74 (6) Green design.
75 (a) In an effort to set the standard in a highly visible area, green design
76 should be included in all public projects, including private development
77 resulting from the sale of public land. Green design is also encouraged for
78 private development on privately owned land.
- 79 (b) Where green design is required, projects shall be designed and
80 constructed to comply with green design standards prescribed for
81 neighborhoods designed in accordance with the Leadership in Energy
82 and Environmental Design Neighborhood Development (LEED-ND) green
83 neighborhood development rating system, published by the United States
84 Green Building Council, to achieve a LEED silver or higher rating.
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86 **Sec. 8-22. BB-1 District – Buckroe Bayfront Single Family Residential.**
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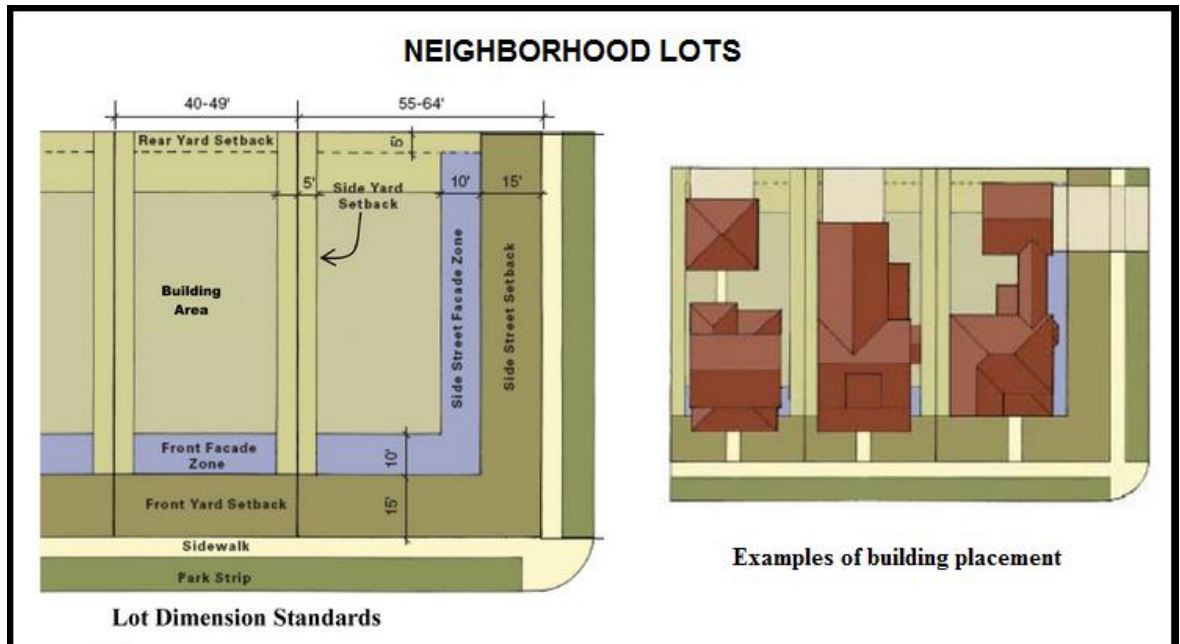
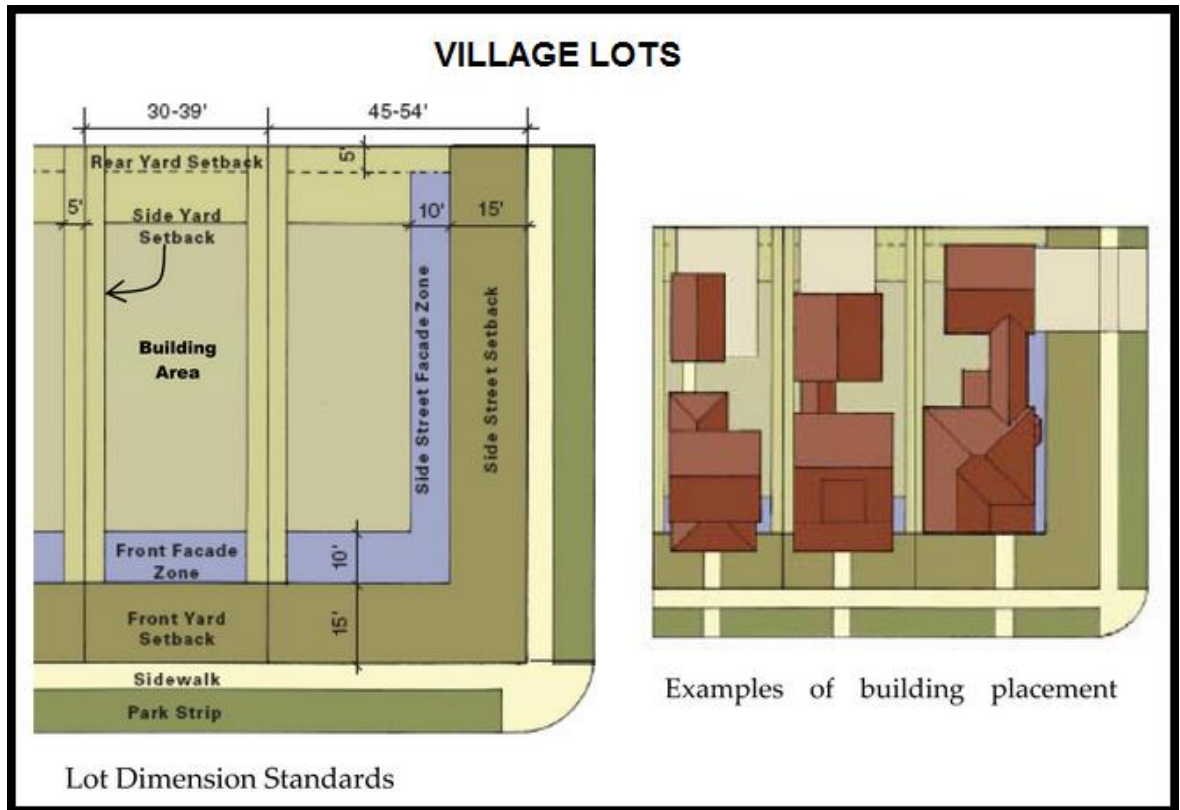
- 88 (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no
 89 use shall be permitted to have a drive-through.
- 90 (2) The following lot types are permitted; in addition, to promote diversity and variety
 91 along residential blocks, no block face greater than three hundred (300) feet in
 92 length shall be composed of more than seventy-five (75) percent of the same lot
 93 type.
- 94 (a) Village Lot
 95 (b) Neighborhood Lot
 96 (c) Estate Lot
 97 (d) Duplex Lot
- 98 (3) Table of Lot Standards. The following table describes the requirements for each
 99 lot type permitted. Lot widths are an allowable range; lot depth, interior side
 100 setback, rear setback, and façade zone coverage are minimum dimensions;
 101 street side setback and front setback are required build-to lines; the façade zone
 102 is a fixed required width; building coverage is a maximum. Small variations to the
 103 dimensional requirements found in this table can be allowed as per subsection 8-
 104 10(9) above. Flag lots are not permitted.

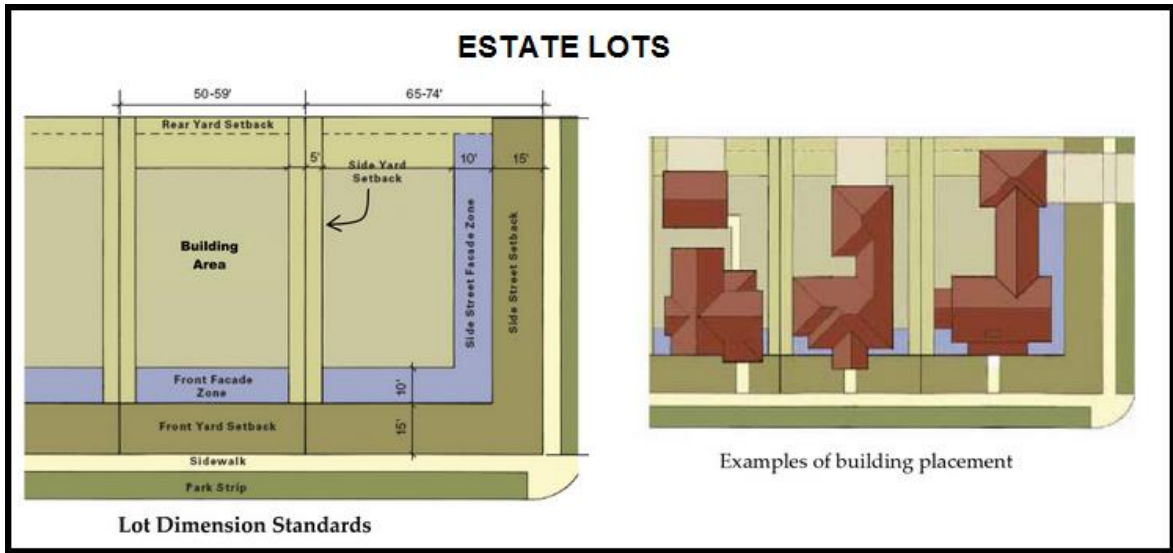
	Village	Neighborhood	Estate	Duplex
Lot size, interior	30'-39' front, 80' deep	40'-49' front, 80' deep	50'-59' front, 100' deep	22'-30' front, 100' deep
Lot size, corner	45'-54' front, 80' deep	55'-64' front, 80' deep	65'-74' front, 100' deep	45'-50' front, 100' deep
Front setback	15' ^A	15' ^A	15' ^A	15' ^A
Interior side setback	5'	5'	5'	5' when detached
Street side setback	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage
Rear setback	15' to house, 5' to garage	15' to house, 5' to garage ^A	20' to house, 5' to garage	15' to house, 5' to garage ^B
Building coverage	50% ^C	50% ^C	50% ^C	50% ^C
Façade zone	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building

^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'

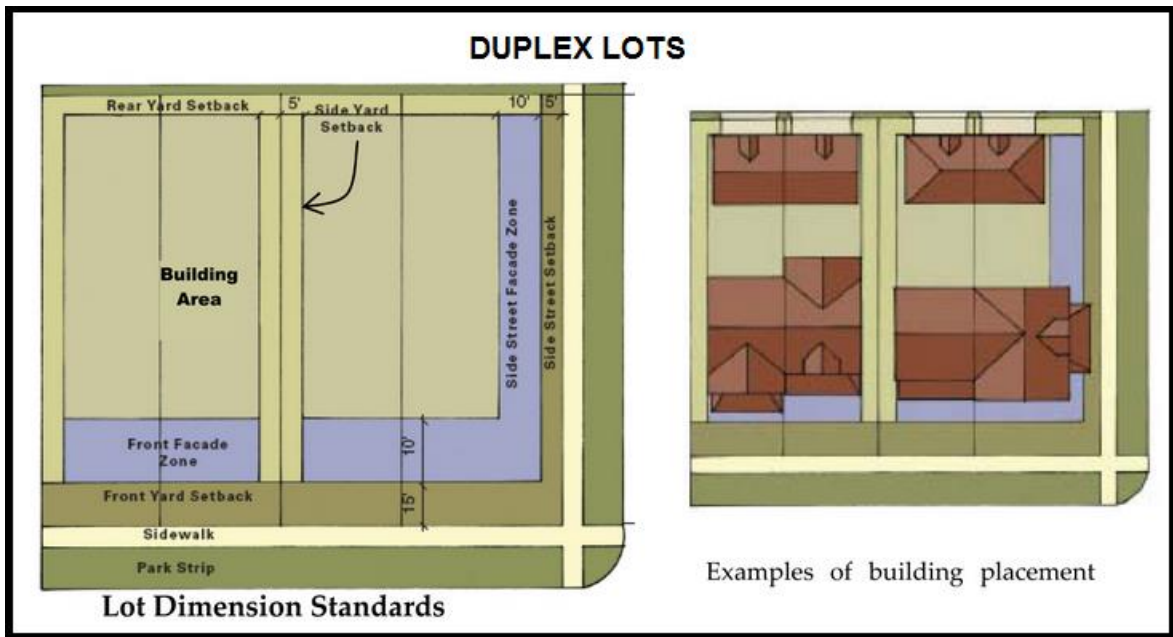
^B A garage placed on a corner lot shall abut the rear property line when the lot is adjacent to an alley to the rear of the property. The garage shall not be setback 5'. The garage shall face onto and be accessed from the side street. The garage shall be setback from the side street 18'.

^C Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations.





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- (4) Development standards
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (b) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.

- 125 (iii) Alleys shall be created when it is physically feasible and in
126 keeping with the recommendations of the Buckroe Master Plan
127 (2005, as amended).
- 128 (c) Height.
- 129 (i) Total building heights will be measured in stories.
- 130 (ii) Buildings shall not be taller than three (3) stories.
- 131 (iii) Tower elements, cupolas, widow's walks, and similar building
132 features may extend one (1) story above the allowable height for
133 each lot type. These elements may only be used within the
134 appropriate architectural style of building.
- 135 (iv) The maximum floor height from floor-to-floor for first floor
136 residential shall be fifteen (15) feet.
- 137 (v) The maximum floor height from floor-to-floor for first floor
138 commercial buildings shall be eighteen (18) feet.
- 139 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
140 the top floor) on any story above the first shall be twelve (12) feet.
- 141 (vii) Cathedral ceilings may be incorporated within the roof and shall
142 not count toward floor height.
- 143 (viii) Floors that exceed the above standards shall be counted as
144 greater than one (1) story.
- 145 (d) Architectural standards.
- 146 (i) All buildings shall be consistent with one of the architectural styles
147 identified in the Buckroe Bayfront Pattern Book. Consistency will
148 be determined based on adherence to the design elements of
149 each of the primary building features identified in the pattern book
150 including massing and composition, eave details and wall section,
151 windows and doors, porches, and materials and applications.
- 152 (ii) Primary access for all buildings shall be from a public street or
153 open space. Primary access is not permitted from the parking
154 area or alley. All street facing façades shall have an articulated
155 primary access entrance.
- 156 (iii) The following shall be located in rear yards or side yards not
157 facing a public street or open space:
- 158 (aa) Electrical utility meters
- 159 (bb) Air conditioning compressors
- 160 (cc) Irrigation and pool pumps
- 161 (iv) The following shall be located in rear yards only:
- 162 (aa) Antennas
- 163 (bb) Permanent barbecues
- 164 (cc) Satellite dishes
- 165 (v) The following are prohibited:
- 166 (aa) Undersized shutters (the shutter or shutters must be sized
167 so as to equal the width that would be required to cover
168 the window opening)

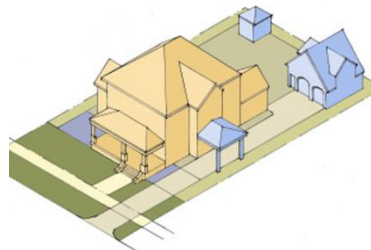


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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (iv) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.

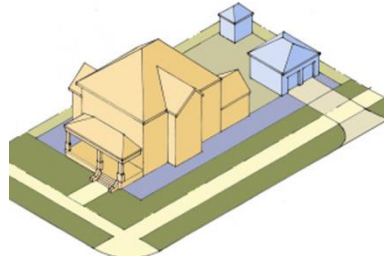
- (5) Accessory buildings or structures
- (a) Accessory buildings or structures for residential uses may include a garage or covered parking, home occupation uses, storage space, and storage for trash receptacles.
 - (b) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (c) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (d) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
 - (e) Accessory buildings or structures or trees on single-family lots shall be set back five (5) feet from the rear property line when adjacent to an alley.
 - (f) Accessory dwelling units are permitted under the following conditions:
 - (i) Accessory dwellings may only be located on a Village Lot, Neighborhood Lot, Estate Lot or Duplex Lot. There shall be no more than one (1) accessory dwelling unit per lot.
 - (ii) Accessory dwellings must be a minimum of five hundred (500) square feet in floor area.

- 203 (iii) The primary dwelling unit and accessory dwelling unit shall not be
 204 rented separately unless one (1) is owner occupied.
 205 (6) Parking shall be provided as described in chapter 11. In addition, parking shall
 206 be subject to the following standards:
 207 (a) All parking shall be provided at the rear of the lot either via a rear alley or
 208 a driveway from the street
 209 (b) Where available, alleys shall be used to access parking, except in the
 210 case of single-family corner lots.
 211 (c) When alley access is not available, driveways in the area from the street
 212 to the rear line of the house shall be a maximum of ten (10) feet wide.



Garage placement for front-loaded infill lot

- 213 (d) Single-family corner lot driveways shall be accessed from the side street
 214 and may be a maximum of fifteen (15) feet wide.
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Garage placement for corner lot

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 219 **Sec. 8-23. BB-2 District – Buckroe Bayfront Mixed Residential.**

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 221 (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no
 222 use shall be permitted to have a drive-through.
 223 (2) The following lot types are permitted; in addition, to promote diversity and variety
 224 along residential blocks, no block face greater than three hundred (300) feet in
 225 length shall be composed of more than seventy-five (75) percent of the same lot
 226 type.
 227 (a) Village Lot
 228 (b) Neighborhood Lot
 229 (c) Estate Lot
 230 (d) Duplex Lot
 231 (e) Multifamily Lot
 232 (3) Table of Lot Standards. The following table describes the requirements for each
 233 lot type permitted. Lot widths are an allowable range; lot depth, interior side

234 setback, rear setback, and façade zone coverage are minimum dimensions;
 235 street side setback and front setback are required build-to lines; the façade zone
 236 is a fixed required width; building coverage is a maximum. Small variations to the
 237 dimensional requirements found in this table can be allowed as per subsection 8-
 238 10(9) above. Flag lots are not permitted.

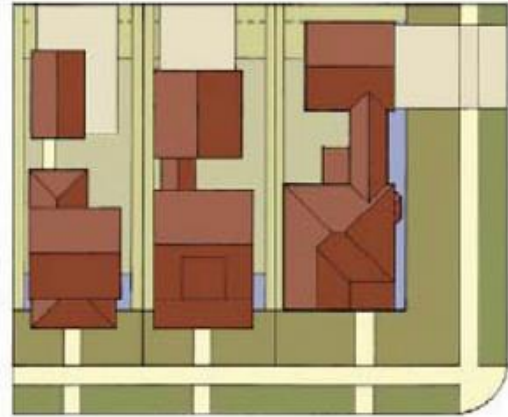
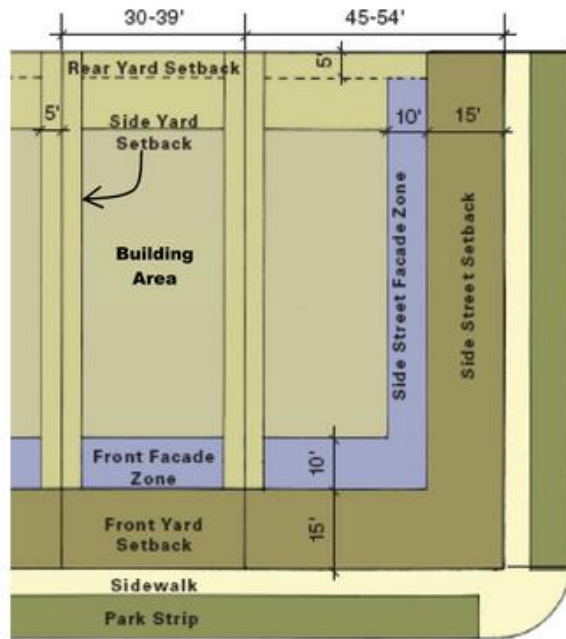
	Village	Neighborhood	Estate	Duplex	Multifamily
Lot size, interior	30'-39' front, 80' deep	40'-49' front, 80' deep	50'-59' front, 100' deep	22'-30' front, 100' deep	60'-80' front, 100' deep
Lot size, corner	45'-54' front, 80' deep	55'-64' front, 80' deep	65'-74' front, 100' deep	45'-50' front, 100' deep	70'-90' front, 100' deep
Front setback	15' ^A	15' ^A	15' ^A	15' ^A	15' ^A
Interior side setback	5'	5'	5'	5' when detached	10' when detached
Street side setback	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' ^A
Rear setback	15' to house, 5' to garage	15' to house, 5' to garage ^A	20' to house, 5' to garage	15' to house, 5' to garage ^B	5'
Building coverage	50% ^C	50% ^C	50% ^C	50% ^C	75% ^C
Façade zone	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 80% of façade zone length must be occupied by the building

^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'

^B A garage placed on a corner lot shall abut the rear property line when the lot is adjacent to an alley to the rear of the property. The garage shall not be setback 5'. The garage shall face onto and be accessed from the side street. The garage shall be setback from the side street 18'.

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VILLAGE LOTS

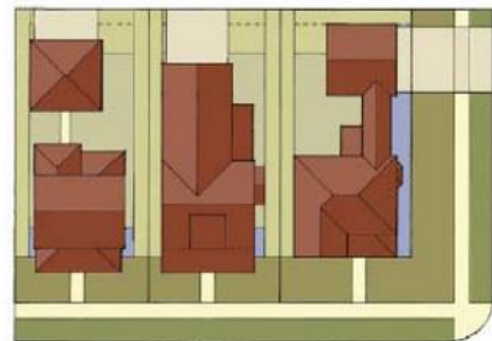
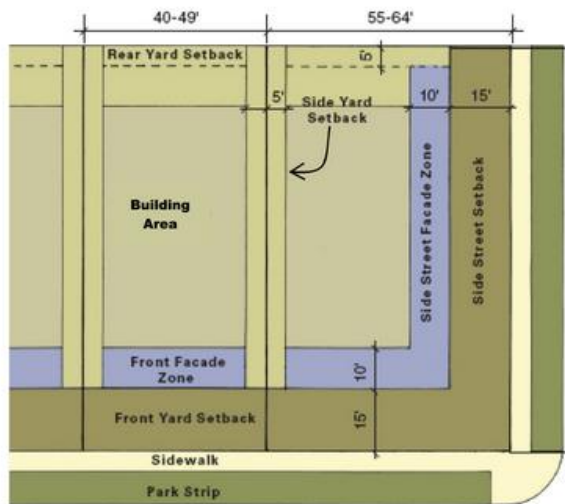


Examples of building placement

Lot Dimension Standards

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NEIGHBORHOOD LOTS

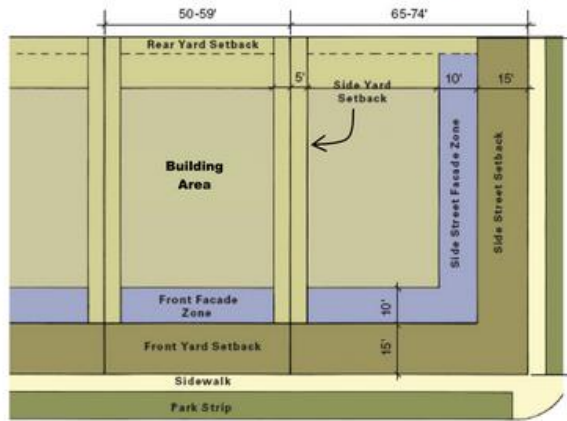


Examples of building placement

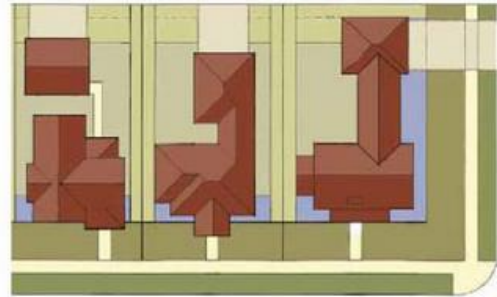
Lot Dimension Standards

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ESTATE LOTS



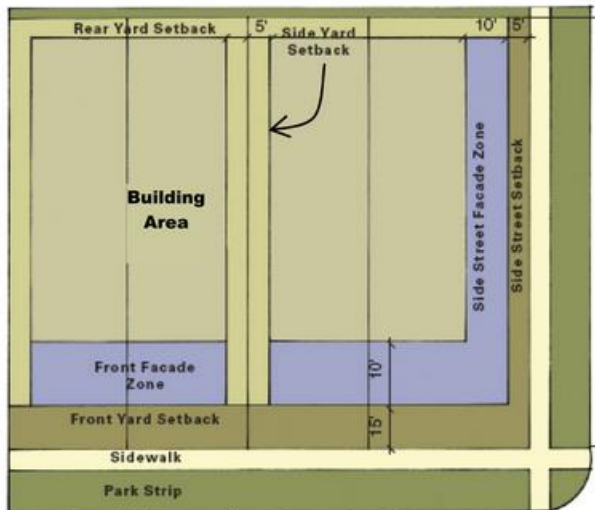
Lot Dimension Standards



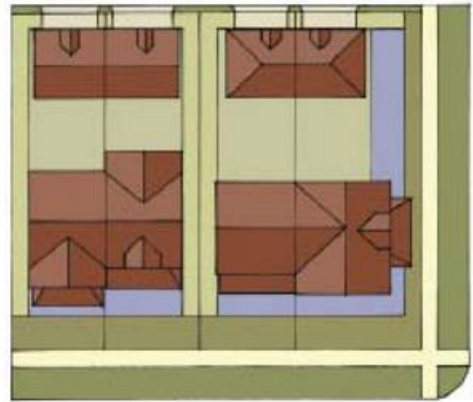
Examples of building placement

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DUPLEX LOTS

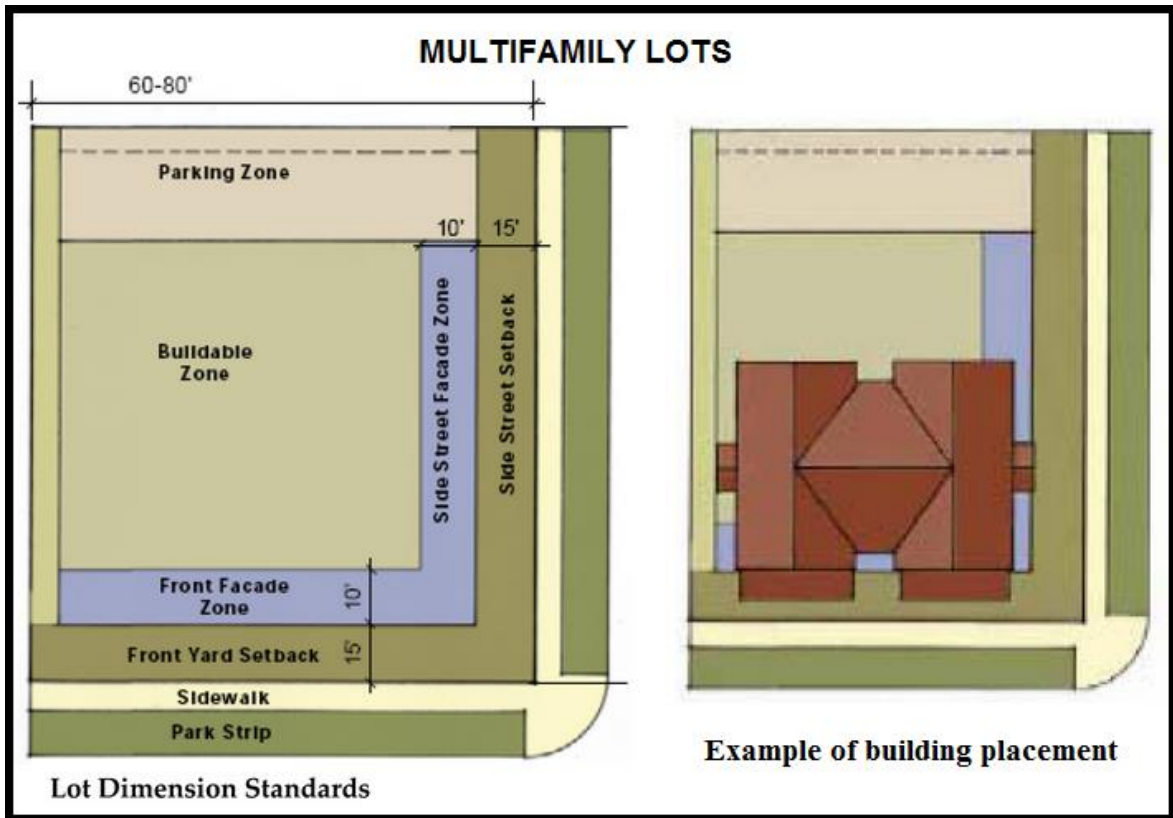


Lot Dimension Standards



Examples of building placement

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- (4) Development standards.
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (b) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.
 - (iii) Alleys shall be created when it is physically feasible and in keeping with the recommendations of the Buckroe Master Plan (2005, as amended).
 - (c) Height.
 - (i) Total building heights will be measured in stories.
 - (ii) Buildings shall not be taller than three (3) stories.
 - (iii) Tower elements, cupolas, widow's walks, and similar building features may extend one (1) story above the allowable height for each lot type. These elements may only be used within the appropriate architectural style of building.

- 271 (iv) The maximum floor height from floor-to-floor for first floor
272 residential shall be fifteen (15) feet.
- 273 (v) The maximum floor height from floor-to-floor for first floor
274 commercial buildings shall be eighteen (18) feet.
- 275 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
276 the top floor) on any story above the first shall be twelve (12) feet.
- 277 (vii) Cathedral ceilings may be incorporated within the roof and shall
278 not count toward floor height.
- 279 (viii) Floors that exceed the above standards shall be counted as
280 greater than one (1) story.
- 281 (d) Architectural standards.
- 282 (i) All buildings shall be consistent with one of the architectural styles
283 identified in the Buckroe Bayfront Pattern Book. Consistency will
284 be determined based on adherence to the design elements of
285 each of the primary building features identified in the pattern book
286 including massing and composition, eave details and wall section,
287 windows and doors, porches, and materials and applications.
- 288 (ii) Primary access for all buildings shall be from a public street or
289 open space. Primary access is not permitted from the parking
290 area or alley. All street facing façades shall have an articulated
291 primary access entrance.
- 292 (iii) The following shall be located in rear yards or side yards not
293 facing a public street or open space:
- 294 (aa) Electrical utility meters
- 295 (bb) Air conditioning compressors
- 296 (cc) Irrigation and pool pumps
- 297 (iv) The following shall be located in rear yards only:
- 298 (aa) Antennas
- 299 (bb) Permanent barbecues
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- 302 (aa) Undersized shutters (the shutter or shutters must be sized
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304 the window opening)



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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (vi) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.
- (5) Accessory buildings or structures.
 - (a) Accessory buildings or structures for residential uses may include a garage or covered parking, home occupation uses, storage space, and storage for trash receptacles.
 - (b) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (c) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (d) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
 - (e) Accessory buildings or structures or trees on single-family lots shall be set back five (5) feet from the rear property line when adjacent to an alley.
 - (f) Accessory dwelling units are permitted under the following conditions:
 - (i) Accessory dwellings may only be located on a Village Lot, Neighborhood Lot, Estate Lot or Duplex Lot. There shall be no more than one (1) accessory dwelling unit per lot.
 - (ii) Accessory dwellings must be a minimum of five hundred (500) square feet in floor area.

339 (iii) The primary dwelling unit and accessory dwelling unit shall not be
340 rented separately unless one (1) is owner occupied.

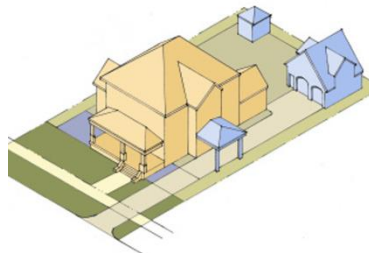
341 (6) Parking shall be provided as described in chapter 11. In addition, parking shall
342 be subject to the following standards:

343 (a) Village, Neighborhood, Estate, and Duplex Lots:

344 (i) All parking shall be provided at the rear of the lot either via a rear
345 alley or a driveway from the street

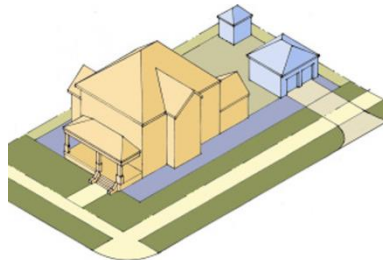
346 (ii) Where available, alleys shall be used to access parking, except in
347 the case of single-family corner lots.

348 (iii) When alley access is not available, driveways in the area from the
349 street to the rear line of the house shall be a maximum of ten (10)
350 feet wide.



Garage placement for front-loaded infill lot

351 (iv) Single-family corner lot driveways shall be accessed from the side
352 street and may be a maximum of fifteen (15) feet wide.
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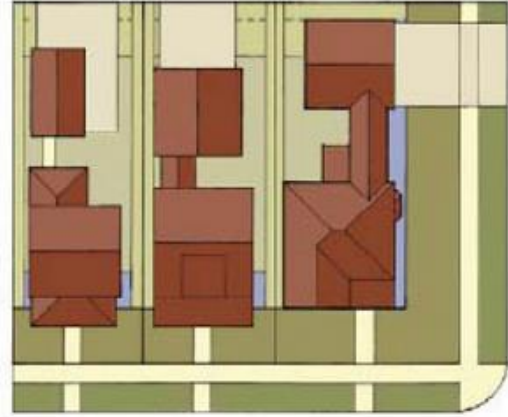
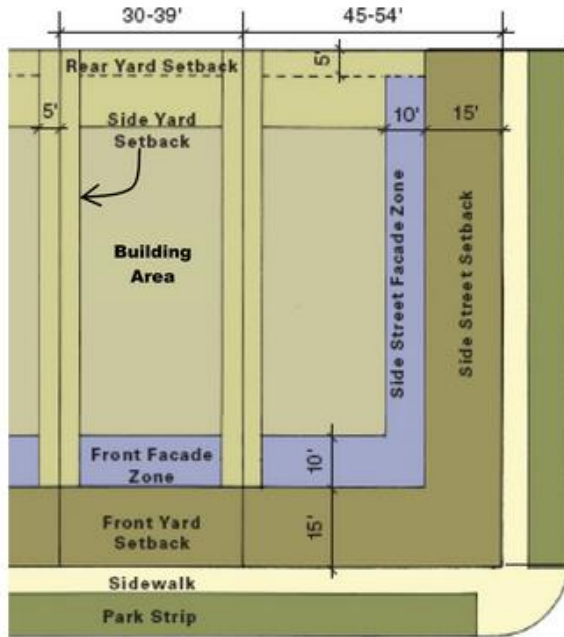
Garage placement for corner lot

354 (b) Multifamily Lots.
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356 (i) All off-street parking shall be in the mid-block area behind the
357 main structures and all or a portion of such spaces may be
358 provided as tuck-under parking on the ground floor but shall not
359 be visible from the front street and shall be screened from the side
360 street. All such parking areas shall be accessed via an alley and
361 may be between two (2) alleys or the alley may serve as a central
362 drive aisle for the parking area. Additionally, parking spaces may
363 be aligned to allow double parking when the two (2) spaces are
364 assigned to the same unit.
365

setback						
Interior side setback	5'	5'	5'	5' when detached	10' when detached	10' when detached
Street side setback	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' to house ^A , 18' to garage	15' ^A	15' ^A
Rear setback	15' to house, 5' to garage	15' to house, 5' to garage ^A	20' to house, 5' to garage	15' to house, 5' to garage ^B	5'	5'
Building coverage	50% ^C	50% ^C	50% ^C	50% ^C	75% ^C	75% ^C
Façade zone	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 40% of façade zone length must be occupied by the building	10' deep, 80% of façade zone length must be occupied by the building	10' deep, 80% of façade zone length must be occupied by the building
<p>^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'</p> <p>^B A garage placed on a corner lot shall abut the rear property line when the lot is adjacent to an alley to the rear of the property. The garage shall not be setback 5'. The garage shall face onto and be accessed from the side street. The garage shall be setback from the side street 18'.</p> <p>^C Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations.</p>						

VILLAGE LOTS

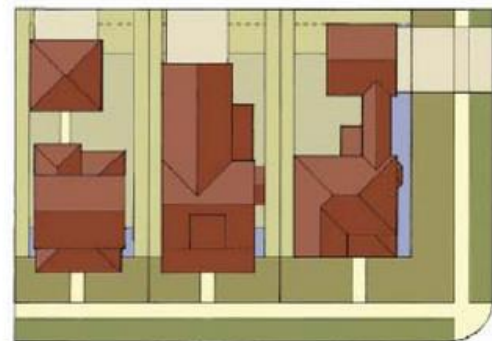
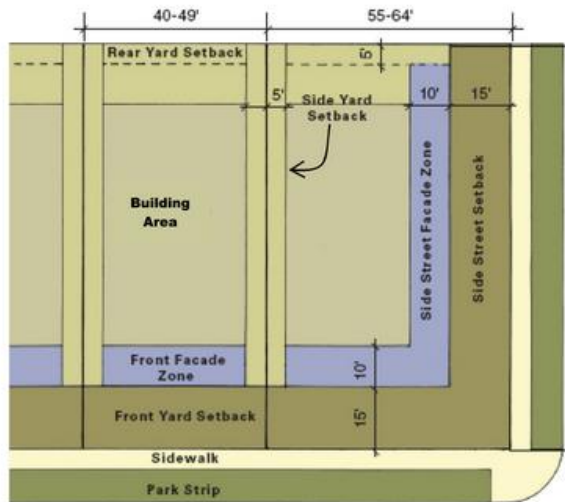


Examples of building placement

Lot Dimension Standards

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NEIGHBORHOOD LOTS

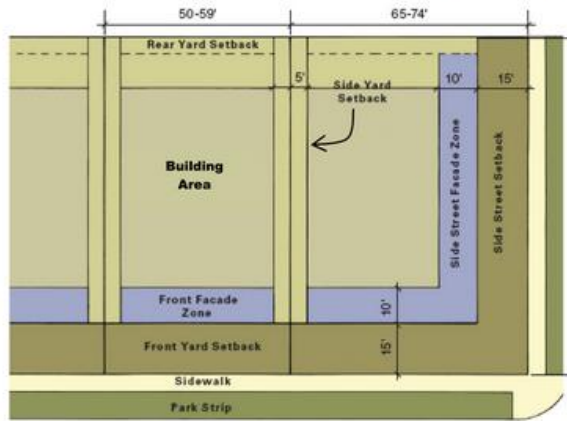


Examples of building placement

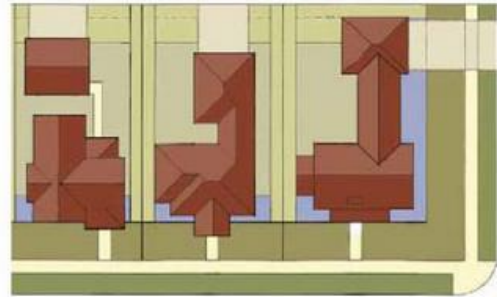
Lot Dimension Standards

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ESTATE LOTS



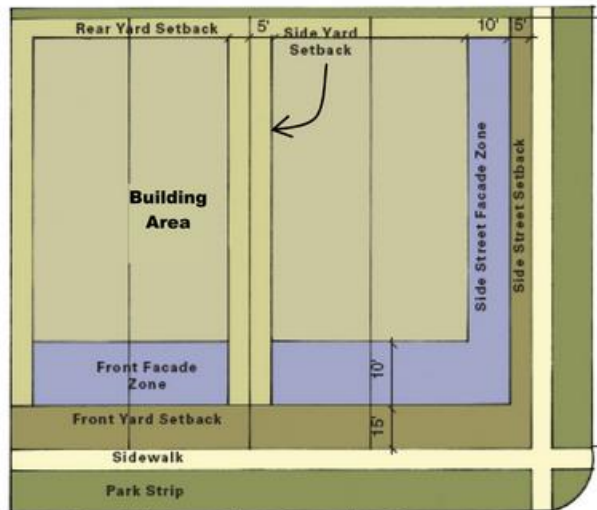
Lot Dimension Standards



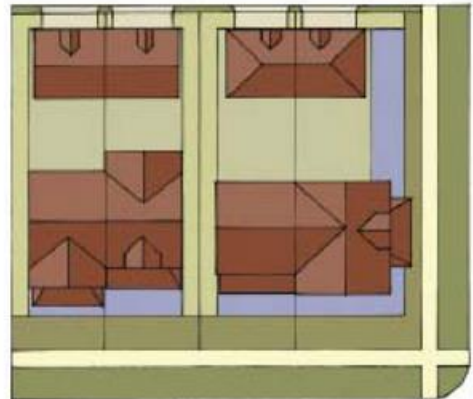
Examples of building placement

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DUPLEX LOTS

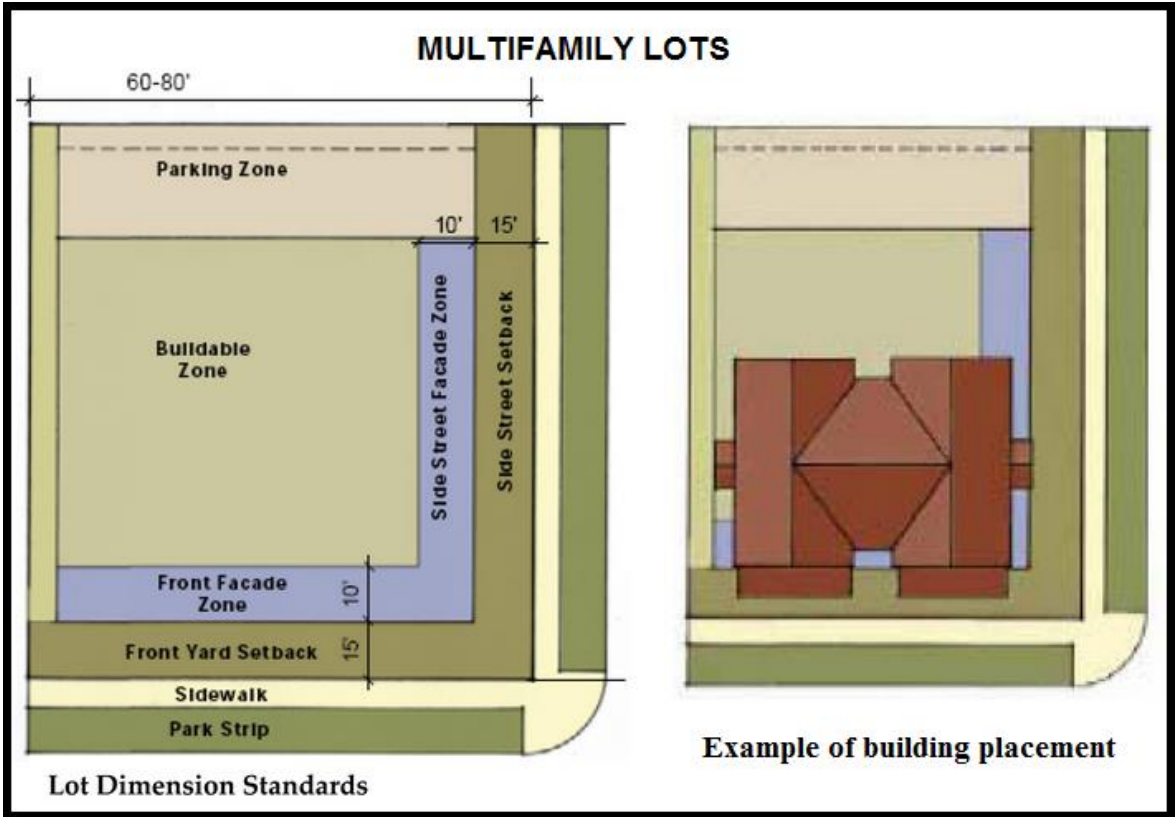


Lot Dimension Standards

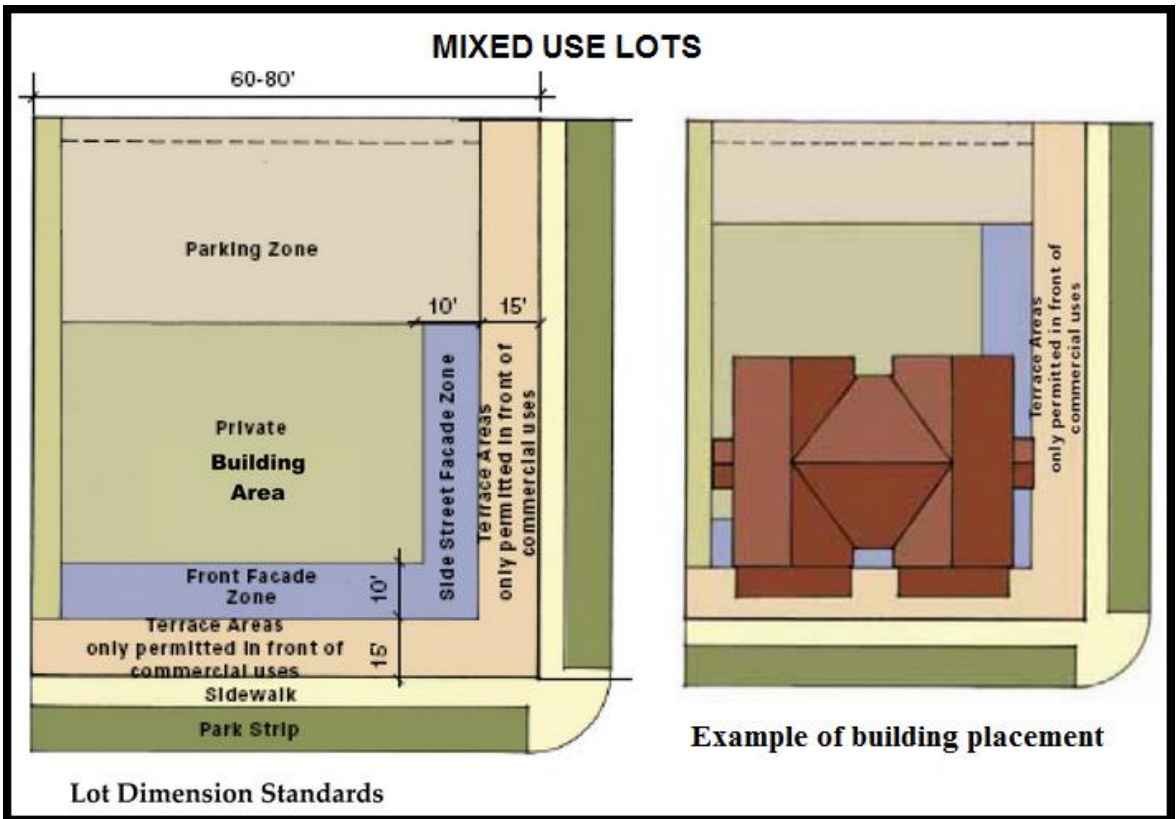


Examples of building placement

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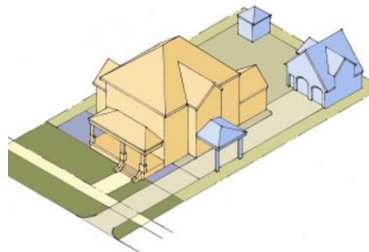
- 402 (4) Development standards.
- 403 (a) Variation. Adjacent buildings shall be visually distinct from each other.
- 404 This distinction may be achieved by varying materials, architectural
- 405 styles, massing, color, or lot type. At least two (2) of these elements must
- 406 vary for each adjacent building along the same street frontage.
- 407 (b) Streets and alleys.
- 408 (i) If a lot is adjacent to only one (1) street, that street is considered
- 409 the front street for that lot.
- 410 (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall
- 411 be considered the front street and the wider lot frontage the side
- 412 street.
- 413 (iii) Alleys shall be created when it is physically feasible and in
- 414 keeping with the recommendations of the Buckroe Master Plan
- 415 (2005, as amended).
- 416 (c) Height.
- 417 (i) Total building heights will be measured in stories.
- 418 (ii) Buildings shall not be taller than three (3) stories.
- 419 (iii) Tower elements, cupolas, widow's walks, and similar building
- 420 features may extend one (1) story above the allowable height for
- 421 each lot type. These elements may only be used within the
- 422 appropriate architectural style of building.
- 423 (iv) The maximum floor height from floor-to-floor for first floor
- 424 residential shall be fifteen (15) feet.
- 425 (v) The maximum floor height from floor-to-floor for first floor
- 426 commercial buildings shall be eighteen (18) feet.
- 427 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
- 428 the top floor) on any story above the first shall be twelve (12) feet.
- 429 (vii) Cathedral ceilings may be incorporated within the roof and shall
- 430 not count toward floor height.
- 431 (viii) Floors that exceed the above standards shall be counted as
- 432 greater than one (1) story.
- 433 (d) Architectural standards.
- 434 (i) All buildings shall be consistent with one of the architectural styles
- 435 identified in the Buckroe Bayfront Pattern Book. Consistency will
- 436 be determined based on adherence to the design elements of
- 437 each of the primary building features identified in the pattern book
- 438 including massing and composition, eave details and wall section,
- 439 windows and doors, porches, and materials and applications.
- 440 (ii) Primary access for all buildings shall be from a public street or
- 441 open space. Primary access is not permitted from the parking
- 442 area or alley. All street facing façades shall have an articulated
- 443 primary access entrance.
- 444 (iii) The following shall be located in rear yards or side yards not
- 445 facing a public street or open space:

- 446 (aa) Electrical utility meters
- 447 (bb) Air conditioning compressors
- 448 (cc) Irrigation and pool pumps
- 449 (iv) The following shall be located in rear yards only:
- 450 (aa) Antennas
- 451 (bb) Permanent barbecues
- 452 (cc) Satellite dishes
- 453 (v) The following are prohibited:
- 454 (aa) Undersized shutters (the shutter or shutters must be sized
- 455 so as to equal the width that would be required to cover
- 456 the window opening)



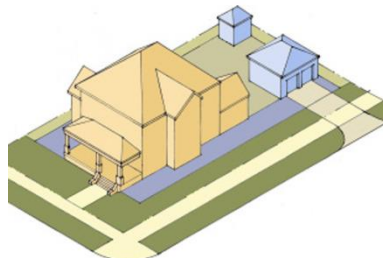
- 457 (bb) Inoperable shutters (the purpose of shutters is to provide
- 458 protection from storms)
- 459 (cc) Shutters made of plastic
- 460 (dd) Reflective and/or bronze-tint glass
- 461 (ee) Plastic or PVC roof tiles
- 462 (ff) Backlit awnings
- 463 (gg) Glossy-finish awnings
- 464 (hh) Fences made of chain link, barbed wire, vinyl, plain wire
- 465 mesh, or coated chain link
- 466
- 467 (vi) Where there is a building façade facing a park or street, the
- 468 façade shall contain transparent windows covering from a
- 469 minimum of twenty (20) percent to a maximum of seventy (70)
- 470 percent of the wall area.
- 471 (5) Accessory buildings or structures.
- 472 (a) Accessory buildings or structures for residential uses may include a
- 473 garage or covered parking, home occupation uses, storage space, and
- 474 storage for trash receptacles.
- 475 (b) The footprint of accessory buildings or structures shall not be larger than
- 476 fifty (50) percent of the main building's footprint.
- 477 (c) Accessory buildings or structures shall not be taller than the main roofline
- 478 of the main building nor shall accessory structures be greater than two (2)
- 479 stories regardless of the height of the main building.

- 480 (d) Accessory buildings or structures larger than one hundred (100) square
 481 feet shall architecturally complement the main building with shared
 482 exterior materials, colors, and roof lines.
- 483 (e) Accessory buildings or structures or trees on single-family lots shall be
 484 set back five (5) feet from the rear property line when adjacent to an alley.
- 485 (f) Accessory dwelling units are permitted under the following conditions:
- 486 (i) Accessory dwellings may only be located on a Village Lot,
 487 Neighborhood Lot, Estate Lot or Duplex Lot. There shall be no
 488 more than one (1) accessory dwelling unit per lot.
- 489 (ii) Accessory dwellings must be a minimum of five hundred (500)
 490 square feet in floor area.
- 491 (iii) The primary dwelling unit and accessory dwelling unit shall not be
 492 rented separately unless one (1) is owner occupied.
- 493 (6) Parking shall be provided as described in chapter 11. In addition, parking shall
 494 be subject to the following standards:
- 495 (a) Village, Neighborhood, Estate, and Duplex Lots
- 496 (i) All parking shall be provided at the rear of the lot either via a rear
 497 alley or a driveway from the street
- 498 (ii) Where available, alleys shall be used to access parking, except in
 499 the case of single-family corner lots.
- 500 (iii) When alley access is not available, driveways in the area from the
 501 street to the rear line of the house shall be a maximum of ten (10)
 502 feet wide.



Garage placement for front-loaded infill lot

- 503 (iv) Single-family corner lot driveways shall be accessed from the side
 504 street and may be a maximum of fifteen (15) feet wide.
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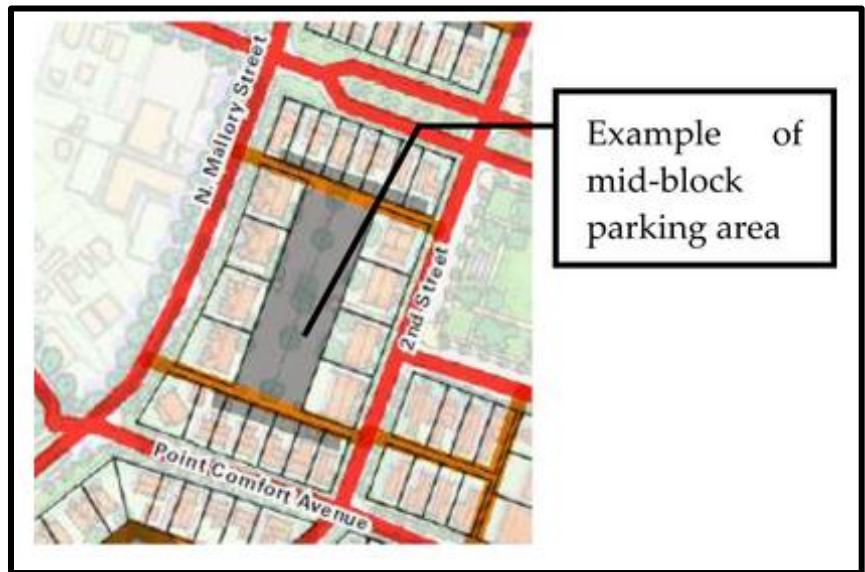
Garage placement for corner lot

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- (b) Multifamily and mixed use lots.
 - (i) All off-street parking shall be in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.



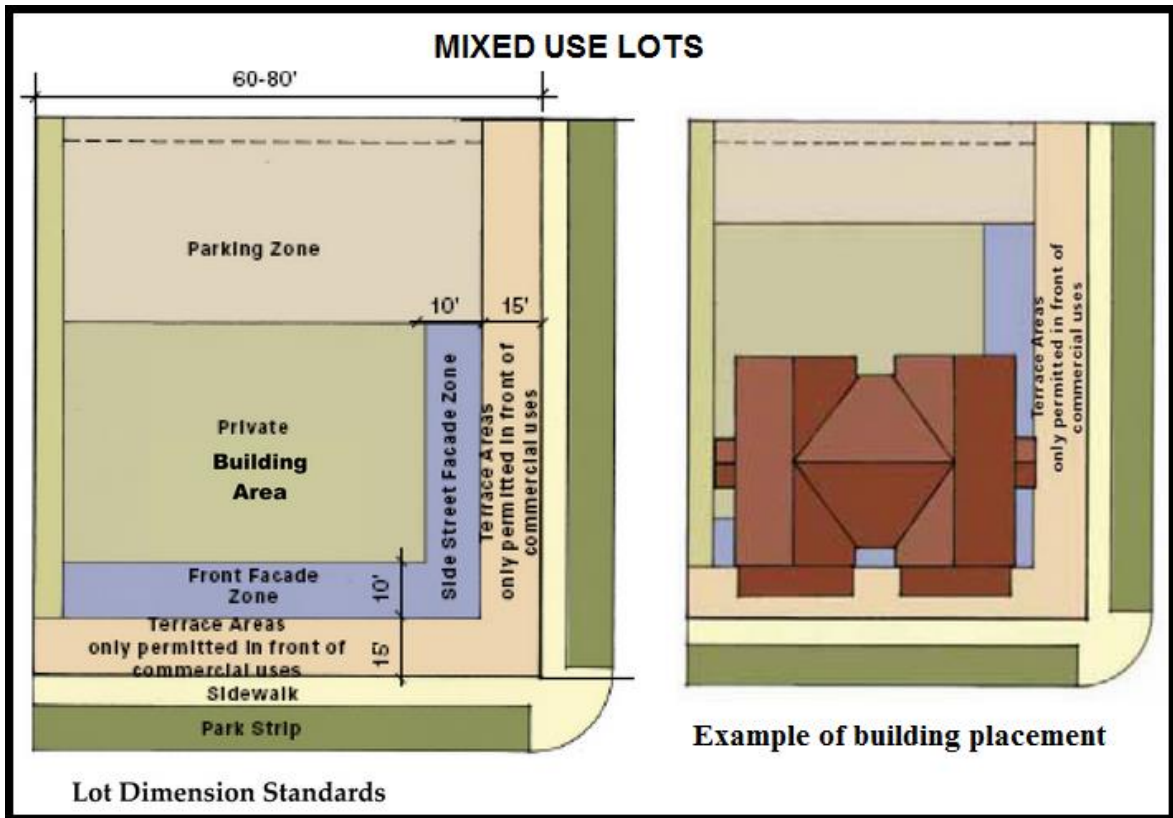
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Sec. 8-25. BB-4 District – Buckroe Bayfront Required Mixed Use.

- (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no use shall be permitted to have a drive-through.
- (2) The following lot types are permitted:
 - (a) Mixed Use Lot

527 (3) Table of Lot Standards. The following table describes the requirements for each
 528 lot type permitted. Lot widths are an allowable range; lot depth, interior side
 529 setback, rear setback, and façade zone coverage are minimum dimensions;
 530 street side setback and front setback are required build-to lines; the façade zone
 531 is a fixed required width; building coverage is a maximum. Small variations to the
 532 dimensional requirements found in this table can be allowed as per subsection 8-
 533 10(9) above. Flag lots are not permitted.

	Mixed Use
Lot size, interior	60'-80' front, 100' deep
Lot size, corner	70'-90' front, 100' deep
Front setback	15' ^A
Interior side setback	10' when detached
Street side setback	15' ^A
Rear setback	5'
Building coverage	75% ^B
Façade zone	10' deep, 80% of façade zone length must be occupied by the building
^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2' ^B Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations.	



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- (4) Development standards.
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (b) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.
 - (iii) Alleys shall be created when it is physically feasible and in keeping with the recommendations of the Buckroe Master Plan (2005, as amended).
 - (c) Height.
 - (i) Total building heights will be measured in stories.
 - (ii) Buildings shall not be taller than three (3) stories.
 - (iii) Tower elements, cupolas, widow's walks, and similar building features may extend one (1) story above the allowable height for each lot type. These elements may only be used within the appropriate architectural style of building.

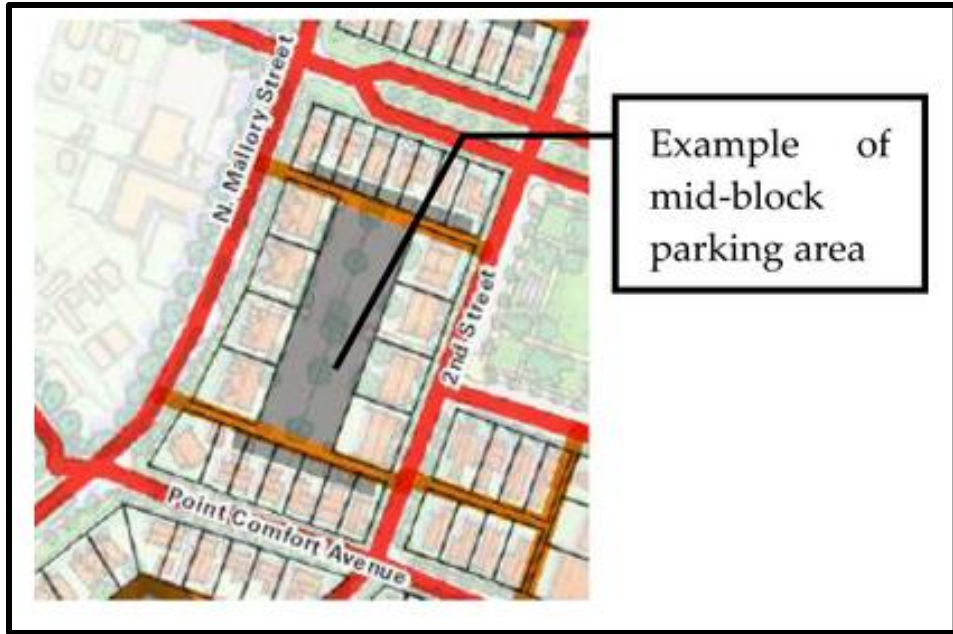
- 558 (iv) The maximum floor height from floor-to-floor for first floor
559 residential shall be fifteen (15) feet.
- 560 (v) The maximum floor height from floor-to-floor for first floor
561 commercial buildings shall be eighteen (18) feet.
- 562 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
563 the top floor) on any story above the first shall be twelve (12) feet.
- 564 (vii) Cathedral ceilings may be incorporated within the roof and shall
565 not count toward floor height.
- 566 (viii) Floors that exceed the above standards shall be counted as
567 greater than one (1) story.
- 568 (d) Architectural standards.
- 569 (i) All buildings shall be consistent with one of the architectural styles
570 identified in the Buckroe Bayfront Pattern Book. Consistency will
571 be determined based on adherence to the design elements of
572 each of the primary building features identified in the pattern book
573 including massing and composition, eave details and wall section,
574 windows and doors, porches, and materials and applications.
- 575 (ii) Primary access for all buildings shall be from a public street or
576 open space. Primary access is not permitted from the parking
577 area or alley. All street facing façades shall have an articulated
578 primary access entrance.
- 579 (iii) The following shall be located in rear yards or side yards not
580 facing a public street or open space:
- 581 (aa) Electrical utility meters
- 582 (bb) Air conditioning compressors
- 583 (cc) Irrigation and pool pumps
- 584 (iv) The following shall be located in rear yards only:
- 585 (aa) Antennas
- 586 (bb) Permanent barbecues
- 587 (cc) Satellite dishes
- 588 (v) The following are prohibited:
- 589 (aa) Undersized shutters (the shutter or shutters must be sized
590 so as to equal the width that would be required to cover
591 the window opening)



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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (vi) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.

- (5) Accessory buildings or structures.
- (a) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (b) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (c) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
- (6) Parking shall be provided as described in chapter 11. In addition, parking shall be subject to the following standards:
- (a) Mixed use lots shall have all off-street parking in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.



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Sec. 8-26. BB-5 District – Buckroe Bayfront Special

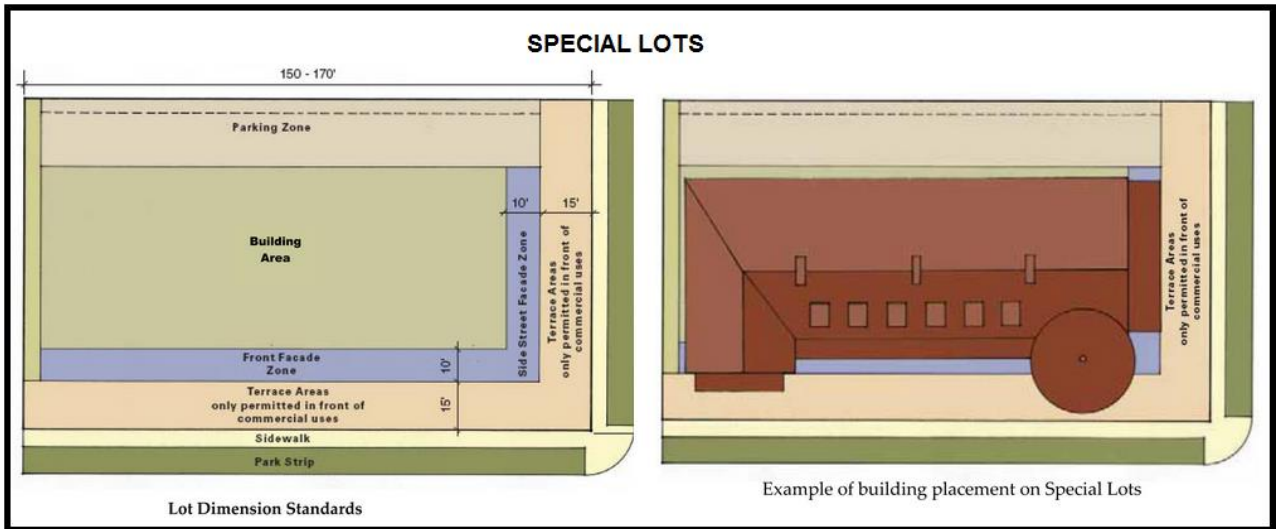
- (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no use shall be permitted to have a drive-through.
- (2) The following lot types are permitted:
 - (a) Special Lot
- (3) Table of Lot Standards. The following table describes the requirements for each lot type permitted. Lot widths are an allowable range; lot depth, interior side setback, rear setback, and façade zone coverage are minimum dimensions; street side setback and front setback are required build-to lines; the façade zone is a fixed required width; building coverage is a maximum. Small variations to the dimensional requirements found in this table can be allowed as per subsection 8-10(9) above. Flag lots are not permitted.

	Special
Lot size, interior	N/A not permitted on interior lots
Lot size, corner	150'-175' wide, 100' deep
Front setback	15' ^A
Interior side setback	10' when detached
Street side setback	15' ^A
Rear setback	5'
Building coverage	None

Façade zone	10' deep, 80% of façade zone length must be occupied by the building
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^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'

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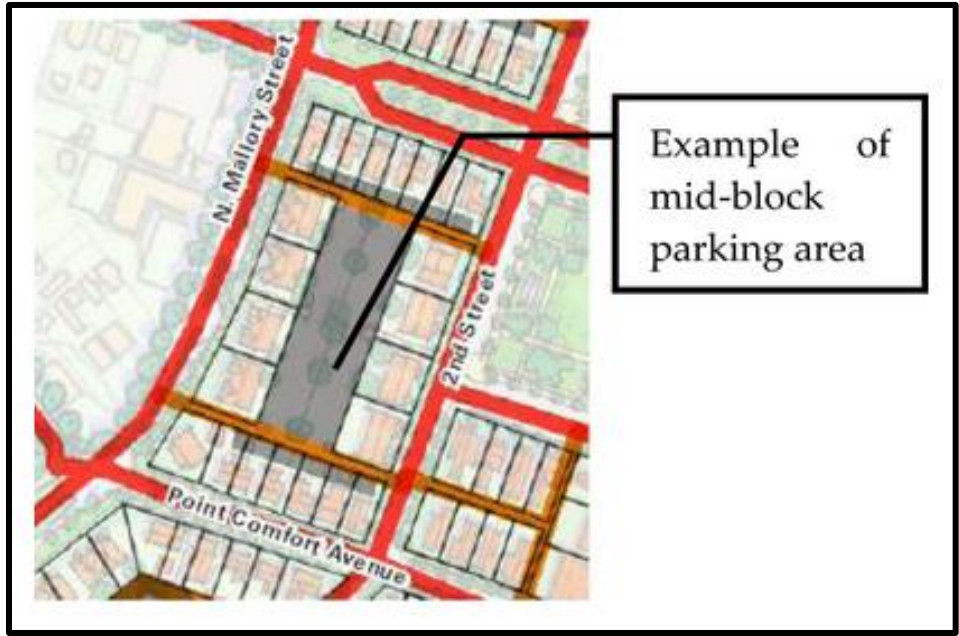
- (4) Development standards.
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (b) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.
 - (iii) Alleys shall be created when it is physically feasible and in keeping with the recommendations of the Buckroe Master Plan (2005, as amended).
 - (c) Height.
 - (i) Total building heights will be measured in stories.
 - (ii) Buildings shall not be taller than four (4) stories.

- 660 (iii) Tower elements, cupolas, widow's walks, and similar building
661 features may extend one (1) story above the allowable height for
662 each lot type. These elements may only be used within the
663 appropriate architectural style of building.
- 664 (iv) The maximum floor height from floor-to-floor for first floor
665 residential shall be fifteen (15) feet.
- 666 (v) The maximum floor height from floor-to-floor for first floor
667 commercial buildings shall be eighteen (18) feet.
- 668 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
669 the top floor) on any story above the first shall be twelve (12) feet.
- 670 (vii) Cathedral ceilings may be incorporated within the roof and shall
671 not count toward floor height.
- 672 (viii) Floors that exceed the above standards shall be counted as
673 greater than one (1) story.
- 674 (d) Architectural standards.
- 675 (i) All buildings shall be consistent with one of the architectural styles
676 identified in the Buckroe Bayfront Pattern Book. Consistency will
677 be determined based on adherence to the design elements of
678 each of the primary building features identified in the pattern book
679 including massing and composition, eave details and wall section,
680 windows and doors, porches, and materials and applications.
- 681 (ii) Primary access for all buildings shall be from a public street or
682 open space. Primary access is not permitted from the parking
683 area or alley. All street facing façades shall have an articulated
684 primary access entrance.
- 685 (iii) The following shall be located in rear yards or side yards not
686 facing a public street or open space:
- 687 (aa) Electrical utility meters
688 (bb) Air conditioning compressors
689 (cc) Irrigation and pool pumps
- 690 (iv) The following shall be located in rear yards only:
- 691 (aa) Antennas
692 (bb) Permanent barbecues
693 (cc) Satellite dishes
- 694 (v) The following are prohibited:
- 695 (aa) Undersized shutters (the shutter or shutters must be sized
696 so as to equal the width that would be required to cover
697 the window opening)



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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
- (cc) Shutters made of plastic
- (dd) Reflective and/or bronze-tint glass
- (ee) Plastic or PVC roof tiles
- (ff) Backlit awnings
- (gg) Glossy-finish awnings
- (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (vi) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.
- (5) Accessory buildings or structures.
 - (a) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (b) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (c) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
- (6) Parking shall be provided as described in chapter 11. In addition, parking shall be subject to the following standards:
 - (a) Special lots shall have all off-street parking in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.



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Secs. 8-27-8-30. Reserved.

ARTICLE 4. HAMPTON ROADS CENTER DISTRICTS