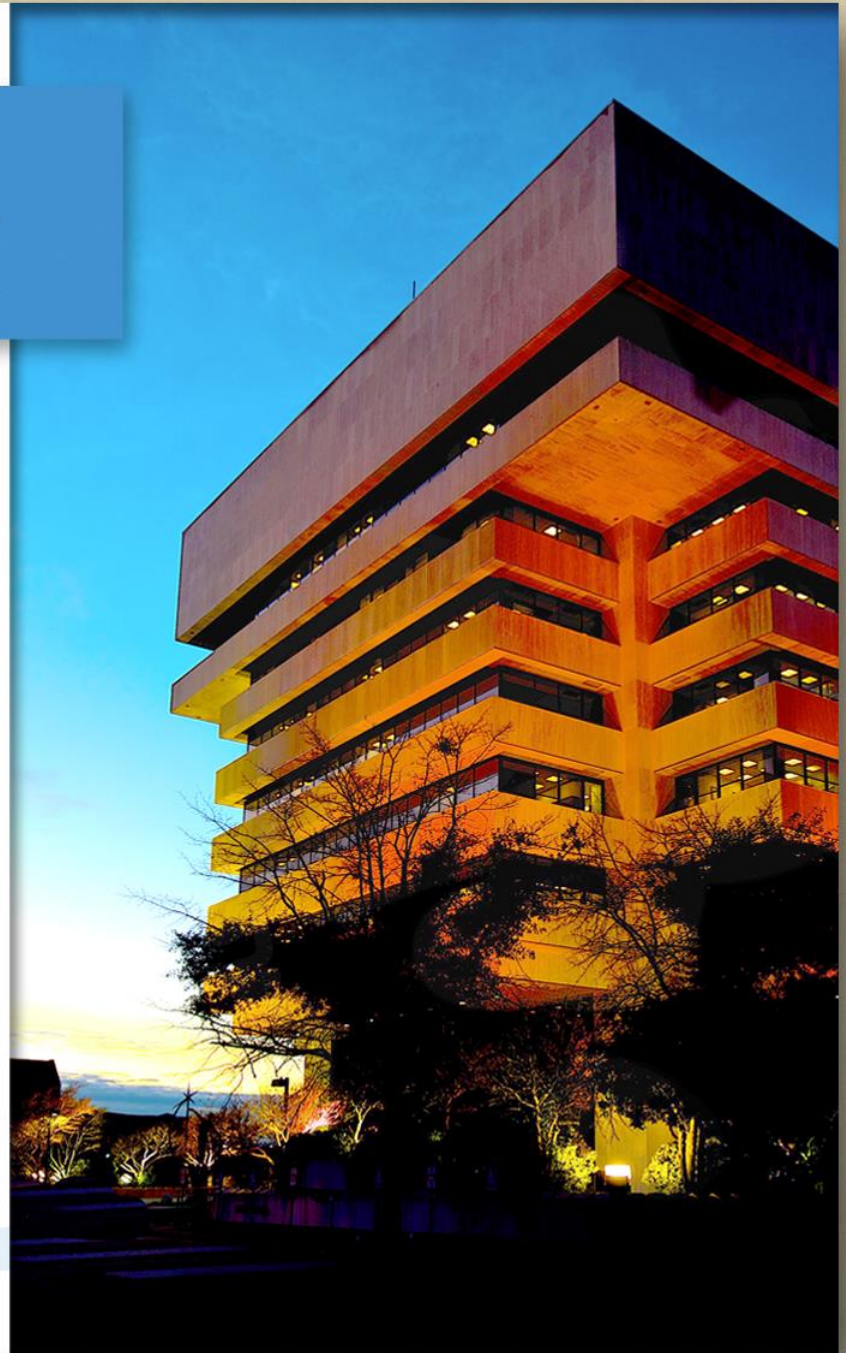


HAMPTON VA

Zoning Ordinance Amendment Item #21-0267

Multifamily Land Use Regulations


City Council
October 13, 2021



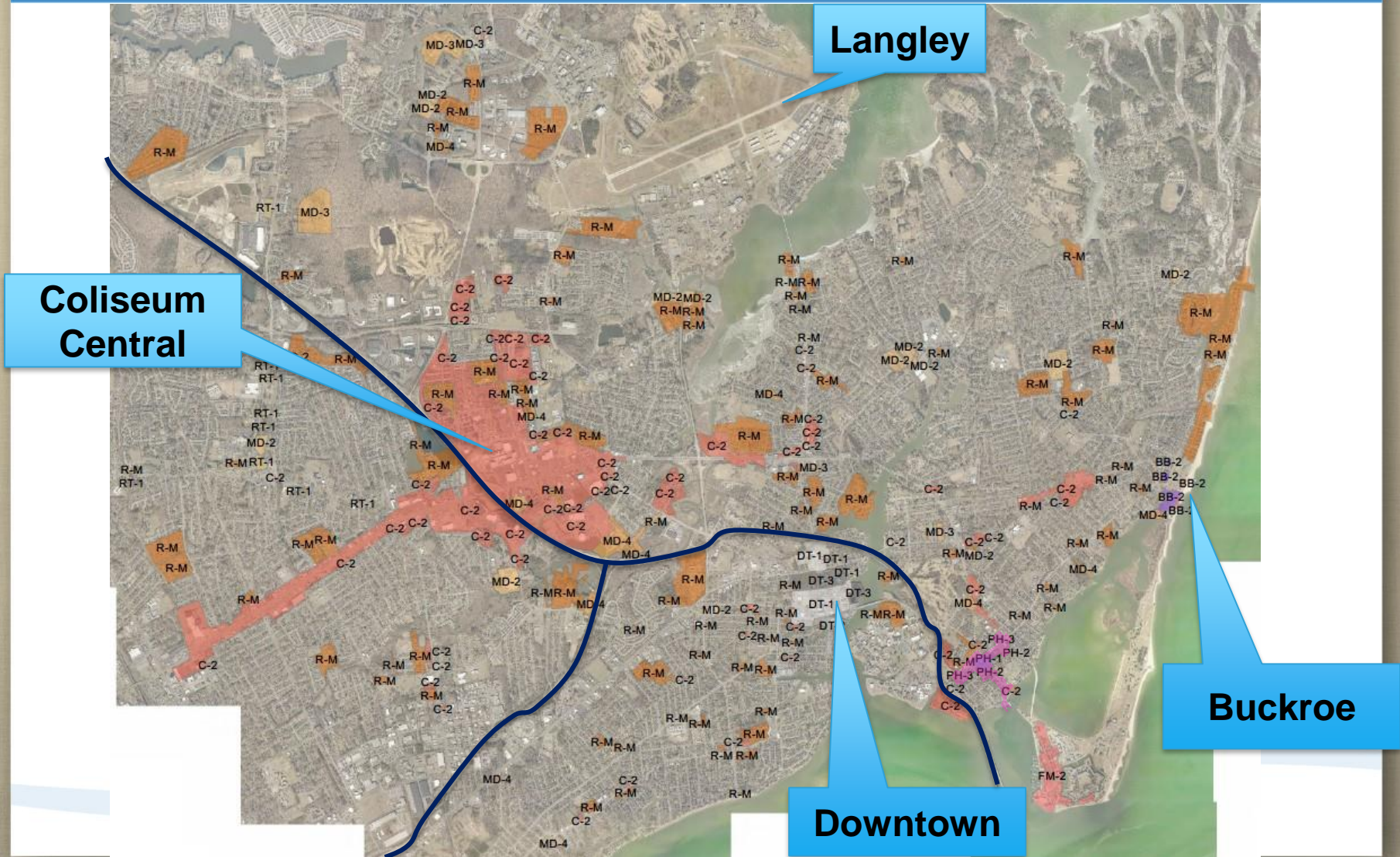
Purpose / Outline

- Elevate the quality of new multifamily development within the City of Hampton
- Focus higher density development within desired urban cores
- Presentation will cover:
 - technical amendment to clean language
 - current conditions
 - other jurisdictions' approach
 - proposed changes

Technical Amendment

- Restaurants uses consolidated into the same section
 - Micro-brewery/distillery/winery uses consolidated into the same section
 - Clarification on use titles
 - No impacts on regulation
- 

Current Condition By-Right



How Do Other Cities Regulate Multifamily Land Uses?

City	Notes
Norfolk	Many permitted districts, of the ones requiring UP many only require the UP under specific conditions
Newport News	Permitted in multifamily districts, UP in office and Oyster Point Business districts
Virginia Beach	Permitted in apartment districts, some UP in office districts
Chesapeake	Permitted in multifamily districts only, other than PUDs
Roanoke	Permitted in multifamily districts, mix in other districts, form-based standards in Neighborhood Design overlay district
Richmond	Permitted in most districts other than single family with a development plan or additional mixed use requirements

Proposed Phased Approach

Recommending several phases:

- Phase 1: Additional standards for some by-right in Downtown, use permit for Limited Commercial, Multifamily Dwelling, and Residential Transition districts
- Later phases: Downtown districts standards, create Coliseum Central base district, Multifamily Dwelling districts standards

Proposed Changes for Phase 1

Two different uses involved:

1. Upper-floor dwelling units
(4 units or less above commercial)
2. Multifamily

Upper-floor Dwelling Units

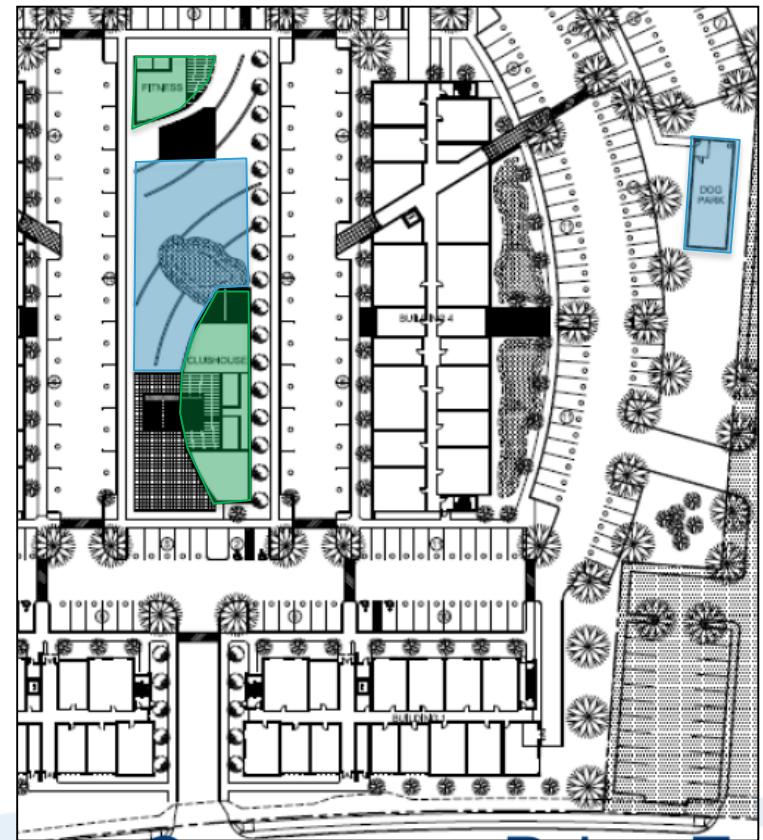
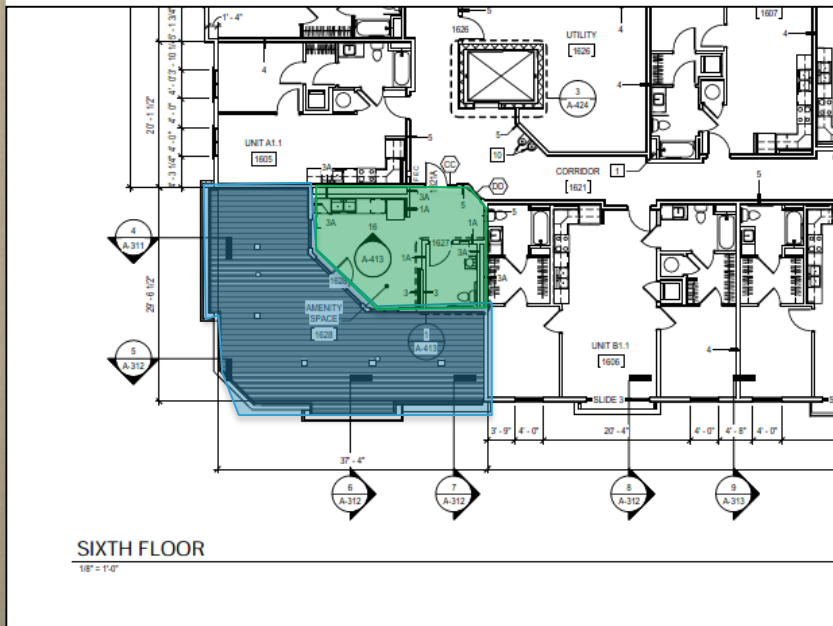
1. Expanded existing use, new definition
2. Use permit required in Limited Commercial
3. Permitted in Buckroe, Downtown, Phoebus, and Fort Monroe
4. Additional standards

Multifamily Dwelling

1. Remains unchanged in Buckroe and Phoebus
2. Permitted if meeting additional standards in Downtown, otherwise use permit
3. Use permit in Limited Commercial, which includes much of Coliseum Central
4. Use permit everywhere else
5. Legal existing ones will be grandfathered

Proposed Additional Use Standards

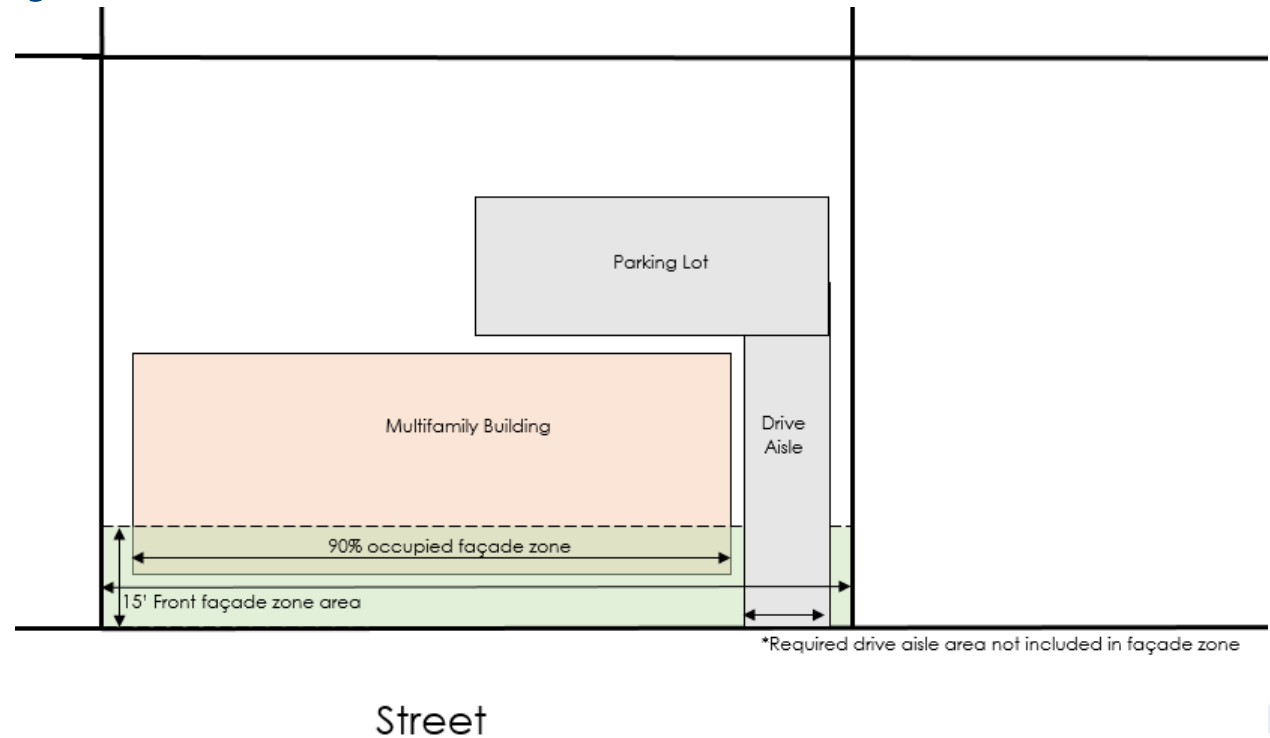
- Applies to Downtown multifamily only*
 - Density
 - Amenities



*Standards generally in-line with Phoebus and Buckroe requirements

Proposed Additional Use Standards

- Applies to Downtown multifamily only*
 - Front façade zone
 - Parking



*Standards generally in-line with Phoebus and Buckroe requirements

Proposed Additional Use Standards

- Applies to Downtown multifamily only*
 - Fenestration
 - Floor elevation
 - Height
 - Access



*Standards generally in-line with Phoebus and Buckroe requirements

Summary of Proposed Amendments

1. Phoebus and Buckroe – by-right, provided the development meets the existing form standards
2. Downtown – by-right, provided the development meets the new enhanced form standards
3. Coliseum Central – use permit until later ordinance to update standards
4. Everywhere else – use permit
5. Existing multifamily developments will be grandfathered
6. Take effect immediately

Stakeholder Input

Staff presented to:

- Downtown BID
- Coliseum Central BID
- Phoebus Partnership
- Buckroe Improvement League
- Peninsula Realtors Association
- Several multifamily developers

Recommendation

Planning Commission & Staff
Recommend Approval

#21-0267 (Use Table & Additional Standards)