

1 **Ordinance To Amend And Re-Enact Chapter 8 Of The Zoning Ordinance Of The City Of**
2 **Hampton, Virginia Entitled “Special Districts” By Amending Article 3 – Buckroe Bayfront**
3 **Districts.**

4
5 **Whereas**, the public necessity, convenience, general welfare and good zoning practice so
6 require;

7
8 **BE IT ORDAINED** by the Council of the City of Hampton, Virginia that chapter 8 of the Zoning
9 Ordinance of the City of Hampton, Virginia, be amended and re-enacted as follows:

10
11 **CHAPTER 8 – SPECIAL DISTRICTS**

12 ...

13 **ARTICLE 3. BUCKROE BAYFRONT DISTRICTS**

14
15 **Sec. 8-21. Overall Intent and General Provisions of Buckroe Bayfront (BB) Districts.**

- 16
17 (1) The Buckroe Bayfront Districts are intended to be a tool for implementation of the
18 recommendations and policies of the Buckroe Master Plan (2005, as amended),
19 guiding development, redevelopment, and revitalization activities in the Buckroe
20 Bayfront area. Buckroe is a unique place in the Hampton Roads region with a
21 neighborhood and architectural character that is an asset that must be protected
22 and enhanced as new development becomes a part of the Buckroe community.
23 Buckroe's character is based on its dual role as both a Chesapeake Bay
24 beachfront community that draws visitors from areas beyond the neighborhood,
25 and as a primarily single-family residential neighborhood in the City of Hampton.
26 The Buckroe Master Plan (2005, as amended) provides the design principles that
27 reflect these aspects of Buckroe's character, balancing between its two (2) roles
28 and guiding the scale and location for new development and public
29 improvements. The Buckroe Bayfront Districts are also intended to reinforce
30 Buckroe's compact, walkable environment and promote a community design that
31 is environmentally and economically sustainable.
- 32 (2) The City of Hampton has been engaged in the revitalization of the Buckroe
33 neighborhood since 1964 when the first of a series of redevelopment plans was
34 generated. While the scale and nature of the proposed redevelopment in
35 Buckroe has changed over time, the basic premise that the beach represents an
36 asset that could be leveraged for new high quality development to spur
37 revitalization in the greater Buckroe area has remained. The Buckroe Master
38 Plan (2005, as amended) replaces these previous redevelopment plans and the
39 Buckroe Bayfront Districts are a tool to achieve this longstanding objective of the
40 city's efforts in Buckroe.
- 41 ~~(3) The Buckroe Bayfront District (BB) zoning classifications provides a standard for~~
42 ~~development within the Buckroe Bayfront District. City or Hampton~~
43 ~~Redevelopment and Housing Authority-owned lands located in the Buckroe~~
44 ~~Bayfront District shall be required to develop in accordance with the BB Districts'~~

standards. Private properties that are located within the Buckroe Bayfront District, as designated on the Buckroe Bayfront Districts Map, shall be encouraged to develop in accordance with the BB Districts' standards. These standards are a comprehensive whole and cannot be partially utilized or selectively used with other standards. For example, reduced setbacks or lot sizes described in these standards may not be appropriate if the street standards and building form and design standards are not simultaneously utilized.

~~(4) A private property owner may request that his/her property be reviewed using the standards of the BB Districts by submitting to the planning department a letter of intent requesting that the BB Districts' standards apply to their property. A letter of intent must clearly state the area or property to be included within the district, include a plat and legal description of the property(ies), and the signature(s) of the current property owner(s) of record. Once a building permit has been issued or a subdivision plat approved based on the letter of intent, the standards of the Buckroe Bayfront District shall be effective for all future development, redevelopment, or renovation on the subject property.~~

(53) As permitted by the Code of Virginia § 15.2-2283 "Purpose of Zoning Ordinances," the Buckroe Bayfront Districts establish standards for development in Buckroe in order to:

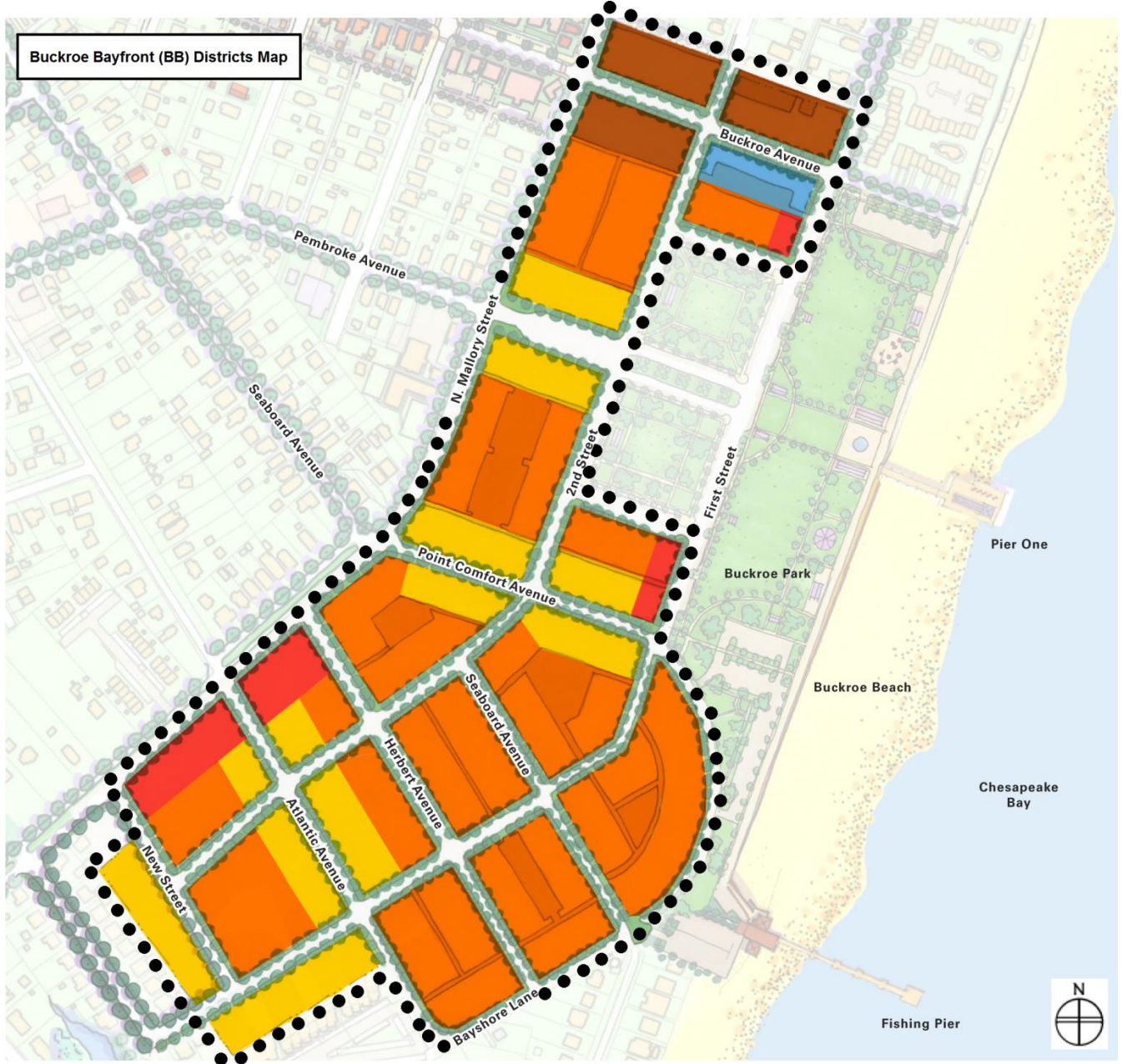
- (a) Preserve and extend those elements of the Buckroe neighborhood which contribute to its neighborhood and architectural character through the design and placement of building types.
- (b) Enhance the quality of street spaces through building placement, massing, and design in order to create a safe environment that supports pedestrians, bicyclists, and drivers.
- (c) Create safe public streets, parks, and other areas by designing neighboring buildings to enhance an "eyes on the street/park" effect with windows and primary entrances facing onto public spaces.
- (d) Provide a degree of predictability to property owners and community residents regarding what may be built on land in the community while also allowing for some flexibility in the mixture of land uses.
- (e) Encourage a range of building types and sizes that will accommodate people at all stages of life and allow for an economically diverse community.
- (f) Facilitate the creation of a convenient, attractive, and harmonious community whose planning and architectural design will support long term value and economic stability in the greater Buckroe community.

~~(6) In the event of any conflict during the design or review of a project, priority among applicable Buckroe Bayfront standards shall be in the following order:~~

- ~~(a) Buckroe Bayfront Districts (BB) (2007, as amended).~~
- ~~(b) Buckroe Master Plan (2005, as amended).~~
- ~~(c) Buckroe Bayfront Pattern Book (2007, as amended).~~

~~(7) District boundaries and map.~~

88 The Buckroe Bayfront District Map was developed as a tool for implementing the
 89 land use recommendations of the Buckroe Master Plan (2005, as amended). The
 90 Buckroe Bayfront Districts Map delineates which lot types are allowed on a given
 91 property. The primary approach streets to the beach and waterfront allow
 92 building types that either are single-family homes or duplexes exhibiting the
 93 massing, scale, and overall character of single-family homes. Mansion-style
 94 multi-family buildings may be located on side streets and commercial streets,
 95 complementing the single-family qualities of Buckroe.



- BB-1 - Single Family Residential
- BB-2 - Mixed Residential
- BB-3 - Optional Mixed Use
- BB-4 - Required Mixed Use
- BB-5 - Special
- BB Districts Boundary

97 ~~(8) Application of the district.~~

98 ~~(a) The Buckroe Bayfront Districts exist as alternative sets of development~~
99 ~~standards for properties within the overall district. The standards of the~~
100 ~~districts shall be applied to city and Hampton Redevelopment and~~
101 ~~Housing Authority-owned properties. For privately owned properties the~~
102 ~~city shall not apply the standards of the Buckroe Bayfront Districts unless~~
103 ~~a letter of intent has been submitted or the property has been previously~~
104 ~~developed or redeveloped under the provisions of the district.~~

105 ~~(b4) There shall be five (5) Buckroe Bayfront Districts:~~

106 ~~(i) BB-1 - Single Family Residential~~

107 ~~(ii) BB-2 - Mixed Residential~~

108 ~~(iii) BB-3 - Optional Mixed-Use~~

109 ~~(iv) BB-4 - Required Mixed-Use~~

110 ~~(v) BB-5 - Special~~

111 ~~The boundaries of each district are shown on the Buckroe Bayfront~~
112 ~~Districts Map, which shall act as a supplement to the city's zoning map.~~

113 ~~(c) In the case of conflict between the Buckroe Bayfront Districts and those of~~
114 ~~the underlying zoning district or any other provisions of the city code, the~~
115 ~~standards of the Buckroe Bayfront Districts shall apply.~~

116 ~~(d) Upon issuance of building permits or final subdivision approval under the~~
117 ~~standards of the Buckroe Bayfront Districts, one of the BB zones~~
118 ~~becomes the base zoning district of the property for the purpose of future~~
119 ~~development, redevelopment, or renovation and shall be recorded on the~~
120 ~~zoning district map, Hampton, VA. Once a parcel is developed under the~~
121 ~~BB standards, the standards of the previous zoning designation are no~~
122 ~~longer applicable.~~

123 ~~(95) Administration.~~

124 ~~Interpretation and administration of the Buckroe Bayfront Districts' standards~~
125 ~~shall be the joint responsibility of the zoning administrator and the planning~~
126 ~~director or their designees. All interpretations shall be agreed upon by both the~~
127 ~~zoning administrator and the planning director. In the event that these two~~
128 ~~individuals cannot agree, the city manager shall have final decision making~~
129 ~~authority on questions of interpretation. The Buckroe Bayfront Pattern Book and~~
130 ~~Buckroe Master Plan (2005, as amended) shall serve as guidance in the~~
131 ~~application review process. Small variations in dimensional requirements,~~
132 ~~representing less than a five foot change to required setbacks or a 10% change~~
133 ~~to area measurements, as appropriate, from any requirement described in the~~
134 ~~tables of "General Lot Standards," can be approved by the zoning administrator~~
135 ~~and the planning director or their designees. The architectural standards may be~~
136 ~~modified in certain circumstances, subject to the approval of the zoning~~
137 ~~administrator and the planning director or their designees based on contributing~~
138 ~~to the unique character of Buckroe and consistent with the Buckroe Master Plan~~
139 ~~(2005, as amended). Such modifications shall not be applied to all buildings~~

140 within a development project and should only be allowed in order to create
141 individual unique buildings.

142 ~~(10) Review process.~~

143 ~~(a) Pre-design meeting. An owner or developer should meet with the
144 planning director or his designee in advance of submitting a preliminary
145 design plan.~~

146 ~~(b) Letter of intent. Before or concurrently with submittal of a preliminary
147 design plan, an owner or developer intending to develop under the
148 Buckroe Bayfront Districts' standards may submit a letter of intent. A letter
149 of intent must clearly state the area or property to be included within the
150 district, include a plat and legal description of the property(ies), and the
151 signature(s) of the current property owner(s) of record.~~

152 ~~(c) Submittal of preliminary design plan. The owner or developer shall submit
153 three copies of a preliminary design plan in accordance with the
154 provisions of this article to the planning director or designee.~~

155 ~~(d) Review of preliminary design plan. Upon the acceptance of a complete
156 application, the planning director shall approve, conditionally approve or
157 disapprove the preliminary design plan within 30 days, requesting thereon
158 any changes or additional information that will be required. In the case of
159 disapproval, the reasons for such shall be identified in writing, referencing
160 specific adopted ordinances and regulations. Modifications or corrections
161 that would permit approval shall also be identified. One copy shall be
162 returned to the applicant or the developer or his authorized
163 representative, with the date of such approval, conditional approval or
164 disapproval noted thereon over the signature of the zoning administrator
165 and planning director or their designees.~~

166 ~~(e) Submittal of final design plan. Once approval or conditional approval has
167 been received, the owner or developer may submit a final design plan in
168 accordance with the provisions of this chapter to the zoning administrator
169 and planning director or their designees. The final design plan shall be
170 reviewed for consistency with the preliminary design plan and any
171 conditions imposed thereon and a letter signed by the planning director
172 indicating approval or disapproval shall be sent to the owner or developer
173 within 14 days of acceptance of a complete application.~~

174 ~~(f) Simultaneous review. An owner or developer may submit plans as
175 required under the site plan or subdivision ordinances for review
176 simultaneous with the final design plan review process. The planning
177 director or his designees shall meet with representatives of the
178 departments of public works, codes compliance, and any other agency
179 necessary to conduct preliminary review of the development project. Final
180 site plan or subdivision approval shall not be issued until final design
181 review is complete and the owner or developer has received a letter of
182 compliance indicating approval signed by the zoning administrator and
183 the planning director or their designees.~~

- 184 (g) ~~Other permits.~~
- 185 (i) ~~No land disturbing permit shall be issued for projects subject to~~
- 186 ~~the Buckroe Bayfront Districts' standards until the owner or~~
- 187 ~~developer has received a letter of compliance indicating final~~
- 188 ~~design plan approval signed by the zoning administrator and the~~
- 189 ~~planning director.~~
- 190 (ii) ~~No building permit shall be issued for buildings subject to the~~
- 191 ~~Buckroe Bayfront Districts' standards until the owner or developer~~
- 192 ~~has received a letter of compliance indicating approval of building~~
- 193 ~~illustrations signed by the planning director.~~
- 194 (h) ~~Appeals. Decisions of the planning director can be appealed to the~~
- 195 ~~Hampton Planning Commission in a duly advertised public hearing~~
- 196 ~~pursuant to the Code of Virginia § 15.2-2204 "advertisement of plans,~~
- 197 ~~ordinances, etc." The Hampton Planning Commission shall either approve~~
- 198 ~~or deny the request. A non-refundable \$325.00 fee shall be assessed for~~
- 199 ~~an appeal request to cover the cost of advertising for the public hearing.~~
- 200 ~~The Hampton Planning Commission is the final authority with regards to~~
- 201 ~~chapter 8, article 3 of the zoning ordinance.~~
- 202 (i) ~~Withdrawal of application.~~
- 203 ~~Applications under the standards of the BB Districts may be withdrawn at~~
- 204 ~~any time before issuance of building permits or approval of any~~
- 205 ~~subdivision, boundary line adjustment or property split.~~
- 206 (j) ~~Application requirements.~~
- 207 (aa) ~~Preliminary design plan. The owner or developer shall submit a~~
- 208 ~~current survey plat of the property along with a preliminary design~~
- 209 ~~plan which shall include the following:~~
- 210 1. ~~A plan depicting existing site conditions including any~~
- 211 ~~existing buildings, pavement, and trees.~~
- 212 2. ~~Conceptual site plan showing the location of any proposed~~
- 213 ~~new buildings, proposed renovations of any existing~~
- 214 ~~buildings, and proposed and retained existing pavement.~~
- 215 3. ~~Proposed conceptual landscaping plan identifying the type,~~
- 216 ~~size, and location of both existing and proposed~~
- 217 ~~landscaping.~~
- 218 (bb) ~~Final design plan. After approval or conditional approval of a~~
- 219 ~~preliminary design plan, the owner or developer shall submit a~~
- 220 ~~final design plan which shall include the following:~~
- 221 1. ~~Site plan consistent with the requirements of chapter 35.1~~
- 222 ~~of the city code. For single family, duplex or two family~~
- 223 ~~dwelling, a plan showing the location of any proposed~~
- 224 ~~new buildings, proposed renovations of any existing~~
- 225 ~~buildings, and proposed and retained existing pavement.~~
- 226 ~~For subdivisions, a preliminary subdivision plat consistent~~
- 227 ~~with chapter 35 of the city code.~~

- 228 2. ~~Landscape plan.~~
- 229 3. ~~A narrative describing how each of the comments made on~~
- 230 ~~the preliminary design plan have been addressed in the~~
- 231 ~~final design plan.~~
- 232 ~~(cc) Building illustrations. Building illustrations depicting front, side, and~~
- 233 ~~rear elevations of all proposed buildings and renovations of~~
- 234 ~~existing buildings may be submitted with the preliminary design~~
- 235 ~~plan, with the final design plan, or later in the development review~~
- 236 ~~process. Building illustrations shall include notation of the exterior~~
- 237 ~~materials to be used.~~

238 (446) Green design.

- 239 (a) ~~In an effort to set the standard in a highly visible area, Green~~ design
- 240 ~~shall be required for~~ **should be included in all** public projects, including
- 241 private development resulting from the sale of public land. Green design
- 242 ~~shall be~~ is also encouraged for private development on privately owned
- 243 land.
- 244 (b) Where green design is required, projects shall be designed and
- 245 constructed to comply with green design standards prescribed for
- 246 neighborhoods designed in accordance with the Leadership in Energy
- 247 and Environmental Design Neighborhood Development (LEED-ND) green
- 248 neighborhood development rating system, published by the United States
- 249 Green Building Council, to achieve a LEED silver or higher rating.

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251 **Sec. 8-22. BB-1 District – Buckroe Bayfront Single Family Residential.**

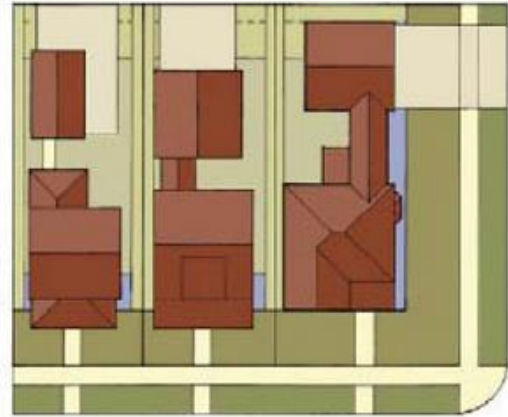
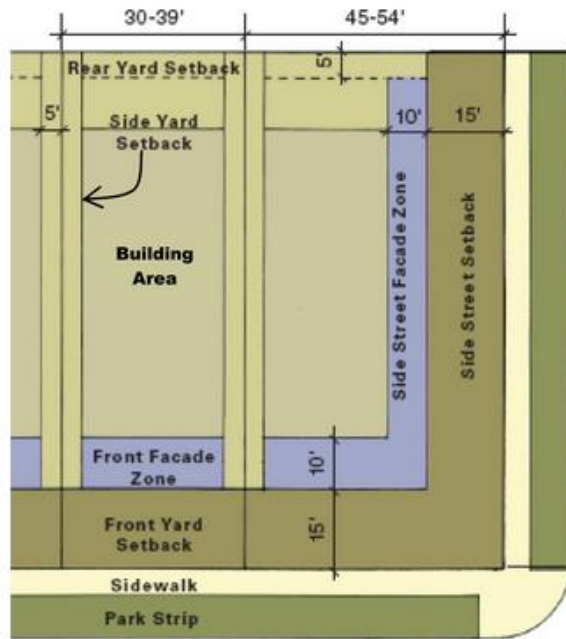
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- 253 (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no
- 254 use shall be permitted to have a drive-through.
- 255 (2) The following lot types are permitted; in addition, to promote diversity and variety
- 256 along residential blocks, no block face greater than three hundred (300) feet in
- 257 length shall be composed of more than seventy-five (75) percent of the same lot
- 258 type.
- 259 (a) Village Lot
- 260 (b) Neighborhood Lot
- 261 (c) Estate Lot
- 262 (d) Duplex Lot
- 263 (3) Table of Lot Standards. The following table describes the requirements for each
- 264 lot type permitted. Lot widths are an allowable range; lot depth, interior side
- 265 setback, rear setback, and façade zone coverage are minimum dimensions;
- 266 street side setback and front setback are required build-to lines; the façade zone
- 267 is a fixed required width; building coverage is a maximum. Small variations to the
- 268 dimensional requirements found in this table can be allowed as per subsection 8-
- 269 10(9) above. Flag lots are not permitted.

| | Village | Neighborhood | Estate | Duplex |
|-----------|----------------|----------------|----------------|----------------|
| Lot size, | 30'-39' front, | 40'-49' front, | 50'-59' front, | 22'-30' front, |

| | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|---------------------------------------------------------------------------|---------------------------------------------------------------------------|---------------------------------------------------------------------------|
| interior | 80' deep | 80' deep | 100' deep | 100' deep |
| Lot size, corner | 45'-54' front, 80' deep | 55'-64' front, 80' deep | 65'-74' front, 100' deep | 45'-50' front, 100' deep |
| Front setback | 15' ^A | 15' ^A | 15' ^A | 15' ^A |
| Interior side setback | 5' | 5' | 5' | 5' when detached |
| Street side setback | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage |
| Rear setback | 15' to house, 5' to garage | 15' to house, 5' to garage ^A | 20' to house, 5' to garage | 15' to house, 5' to garage ^B |
| Building coverage | 50% ^C | 50% ^C | 50% ^C | 50% ^C |
| Façade zone | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building |
| <p>^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'</p> <p>^B A garage placed on a corner lot shall abut the rear property line when the lot is adjacent to an alley to the rear of the property. The garage shall not be setback 5'. The garage shall face onto and be accessed from the side street. The garage shall be setback from the side street 18'.</p> <p>^C Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations.</p> | | | | |

VILLAGE LOTS

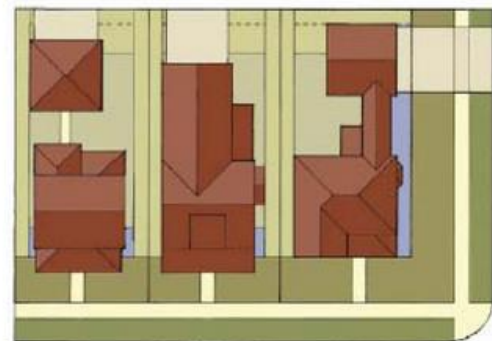
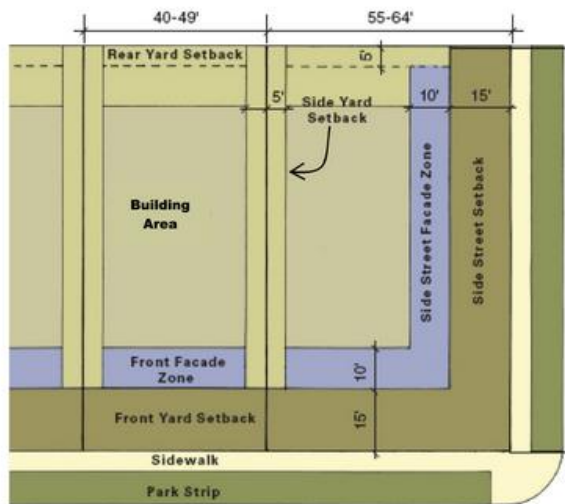


Examples of building placement

Lot Dimension Standards

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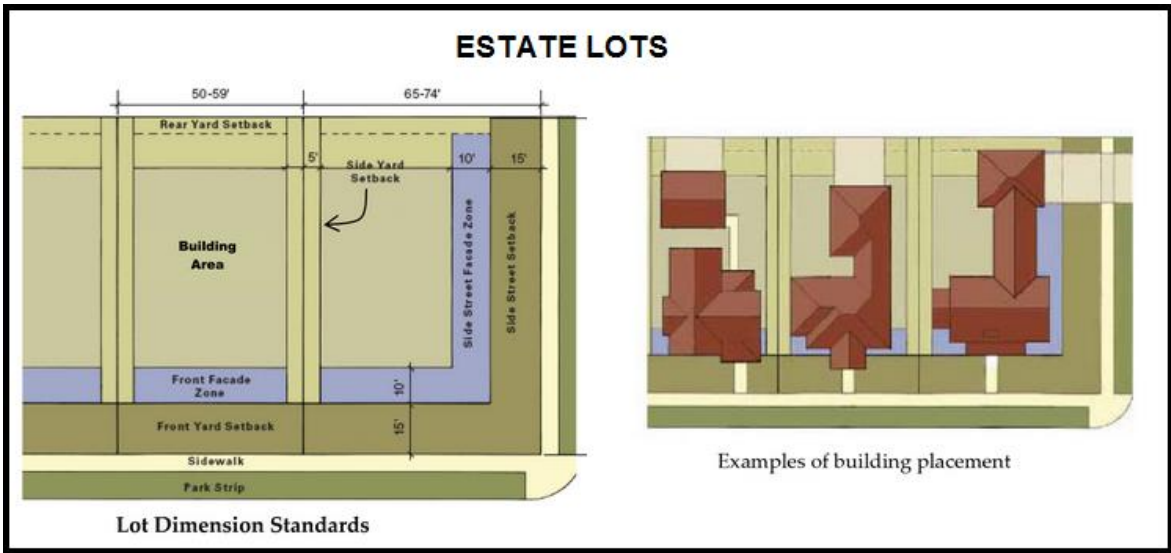
NEIGHBORHOOD LOTS



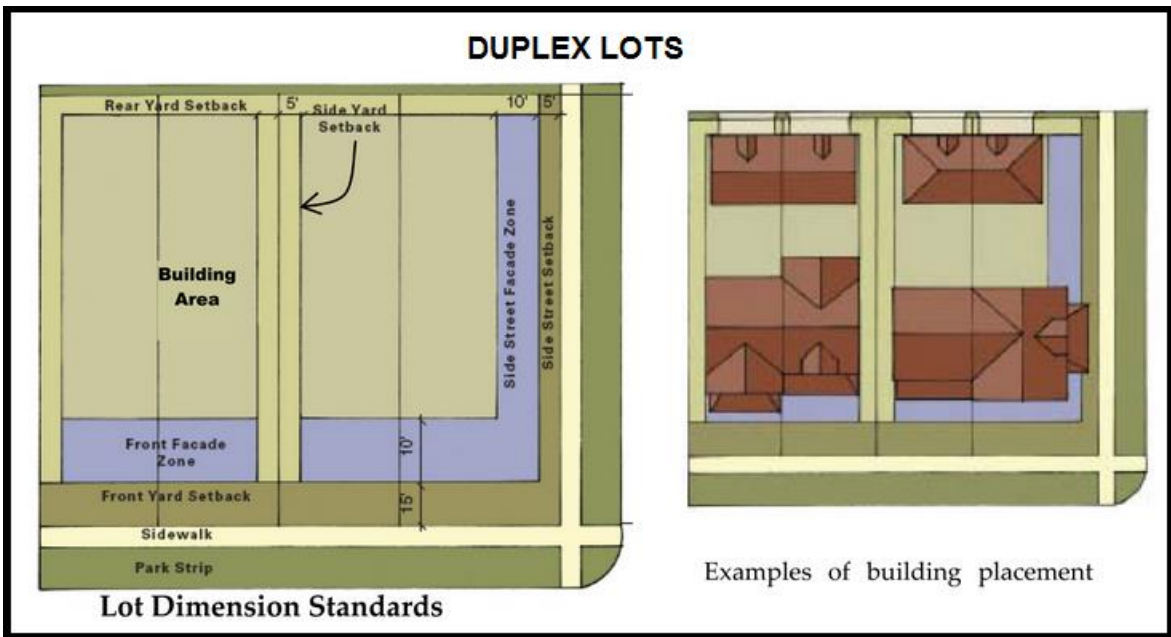
Examples of building placement

Lot Dimension Standards

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- (4) Development standards
 - (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (ba) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.

290 (iii) Alleys shall be created when it is physically feasible and in
291 keeping with the recommendations of the Buckroe Master Plan
292 (2005, as amended). ~~Such alleys shall be a minimum of twenty~~
293 ~~(20) feet in width with a roll-top curb on both sides which shall be~~
294 ~~included in the alley width. Alley corners shall have a radius of~~
295 ~~fifteen (15) feet.~~

296 (eb) Height.

- 297 (i) Total building heights will be measured in stories.
298 (ii) Buildings shall not be taller than three (3) stories.
299 (iii) Tower elements, cupolas, widow's walks, and similar building
300 features may extend one (1) story above the allowable height for
301 each lot type. These elements may only be used within the
302 appropriate architectural style of building.
303 (iv) The maximum floor height from floor-to-floor for first floor
304 residential shall be fifteen (15) feet.
305 (v) The maximum floor height from floor-to-floor for first floor
306 commercial buildings shall be eighteen (18) feet.
307 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
308 the top floor) on any story above the first shall be twelve (12) feet.
309 (vii) Cathedral ceilings may be incorporated within the roof and shall
310 not count toward floor height.
311 (viii) Floors that exceed the above standards shall be counted as
312 greater than one (1) story.

313 (dc) Architectural standards.

- 314 (i) All buildings shall be consistent with one of the architectural styles
315 identified in the Buckroe Bayfront Pattern Book. Consistency will
316 be determined based on adherence to the design elements of
317 each of the primary building features identified in the pattern book
318 including massing and composition, eave details and wall section,
319 windows and doors, porches, and materials and applications.
320 (ii) Primary access for all buildings shall be from a public street or
321 open space. Primary access is not permitted from the parking
322 area or alley. All street facing façades shall have an articulated
323 primary access entrance.
324 (iii) The following shall be located in rear yards or side yards not
325 facing a public street or open space:
326 (aa) Electrical utility meters
327 (bb) Air conditioning compressors
328 (cc) Irrigation and pool pumps
329 (iv) The following shall be located in rear yards only:
330 (aa) Antennas
331 (bb) Permanent barbecues
332 (cc) Satellite dishes
333 (v) The following are prohibited:

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- (aa) Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening)



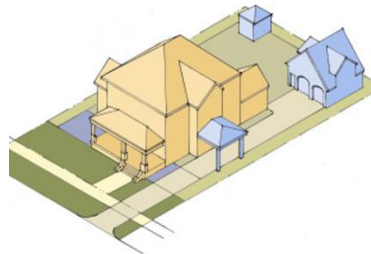
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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (iv) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.

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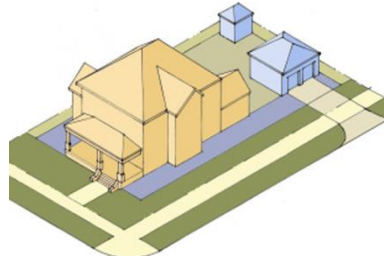
- (5) Accessory buildings or structures
 - (a) Accessory buildings or structures for residential uses may include a garage or covered parking, home occupation uses, storage space, and storage for trash receptacles.
 - (b) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (c) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (d) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
 - (e) Accessory buildings or structures or trees on single-family lots shall be set back five (5) feet from the rear property line when adjacent to an alley.
 - (f) Accessory dwelling units are permitted under the following conditions:

- 366 (i) Accessory dwellings may only be located on a Village Lot,
 367 Neighborhood Lot, Estate Lot or Duplex Lot. There shall be no
 368 more than one (1) accessory dwelling unit per lot.
 369 (ii) Accessory dwellings must be a minimum of five hundred (500)
 370 square feet in floor area.
 371 (iii) The primary dwelling unit and accessory dwelling unit shall not be
 372 rented separately unless one (1) is owner occupied.
- 373 (6) Parking shall be provided as described in chapter 11. In addition, parking shall
 374 be subject to the following standards:
- 375 (a) All parking shall be provided at the rear of the lot either via a rear alley or
 376 a driveway from the street
 377 (b) Where available, alleys shall be used to access parking, except in the
 378 case of single-family corner lots.
 379 (c) When alley access is not available, driveways in the area from the street
 380 to the rear line of the house shall be a maximum of ten (10) feet wide.



Garage placement for front-loaded infill lot

- 381 (d) Single-family corner lot driveways shall be accessed from the side street
 382 and may be a maximum of fifteen (15) feet wide.
 383



Garage placement for corner lot

- 384 ~~(e) Driveways shall be composed of porous, natural materials, such as stone,~~
 385 ~~brick, crushed stone, pebbles, pervious pavers or poured concrete. If~~
 386 ~~concrete is used, it shall be placed to accommodate tire tracks and not as~~
 387 ~~a single, wide surface.~~
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(f) ~~When present, parking pads must be at the rear of the property and may be constructed of a continuous concrete surface or one of the other materials listed for driveway use. Porous materials are encouraged.~~

394 **Sec. 8-23. BB-2 District – Buckroe Bayfront Mixed Residential.**

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396 (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no
397 use shall be permitted to have a drive-through.

398 (2) The following lot types are permitted; in addition, to promote diversity and variety
399 along residential blocks, no block face greater than three hundred (300) feet in
400 length shall be composed of more than seventy-five (75) percent of the same lot
401 type.

- 402 (a) Village Lot
- 403 (b) Neighborhood Lot
- 404 (c) Estate Lot
- 405 (d) Duplex Lot
- 406 (e) Multifamily Lot

407 (3) Table of Lot Standards. The following table describes the requirements for each
408 lot type permitted. Lot widths are an allowable range; lot depth, interior side
409 setback, rear setback, and façade zone coverage are minimum dimensions;
410 street side setback and front setback are required build-to lines; the façade zone
411 is a fixed required width; building coverage is a maximum. Small variations to the
412 dimensional requirements found in this table can be allowed as per subsection 8-
413 10(9) above. Flag lots are not permitted.

| | Village | Neighborhood | Estate | Duplex | Multifamily |
|-----------------------|-------------------------|-------------------------|--------------------------|--------------------------|--------------------------|
| Lot size, interior | 30'-39' front, 80' deep | 40'-49' front, 80' deep | 50'-59' front, 100' deep | 22'-30' front, 100' deep | 60'-80' front, 100' deep |
| Lot size, corner | 45'-54' front, 80' deep | 55'-64' front, 80' deep | 65'-74' front, 100' deep | 45'-50' front, 100' deep | 70'-90' front, 100' deep |
| Front setback | 15' ^A | 15' ^A | 15' ^A | 15' ^A | 15' ^A |
| Interior side setback | 5' | 5' | 5' | 5' when detached | 10' when detached |

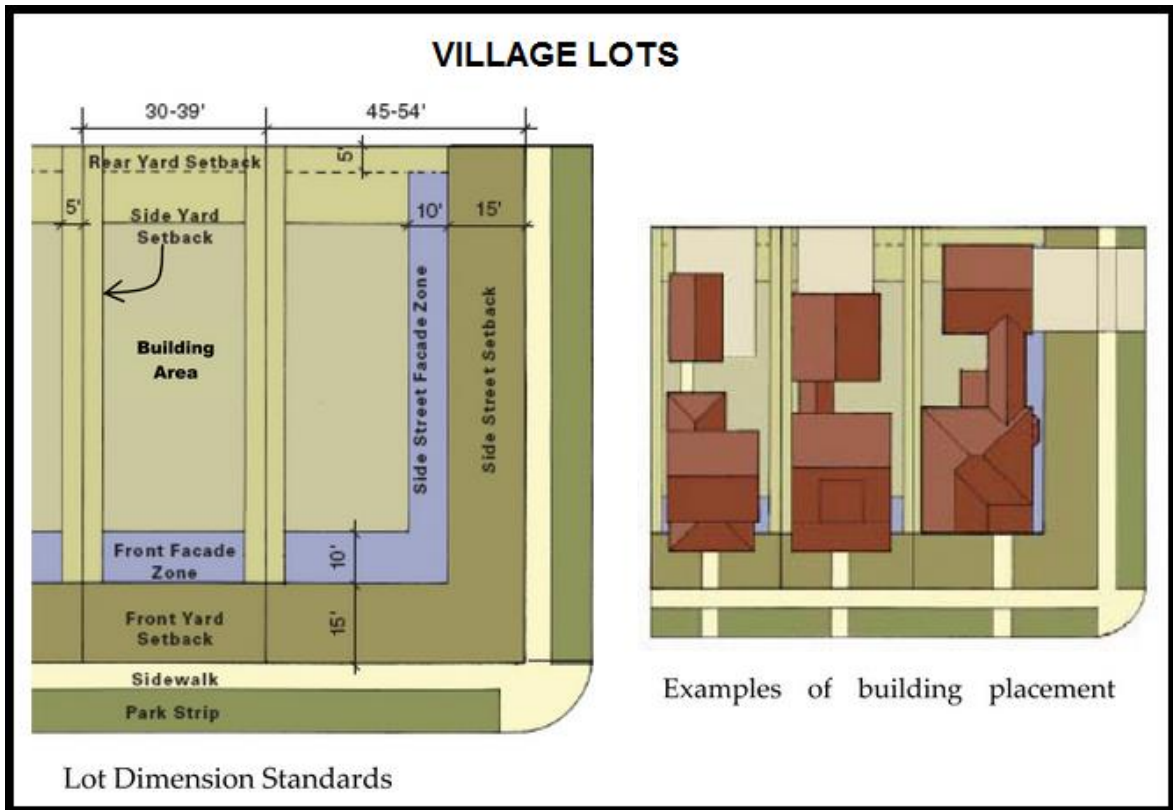
| | | | | | |
|---------------------|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| Street side setback | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' ^A |
| Rear setback | 15' to house, 5' to garage | 15' to house, 5' to garage ^A | 20' to house, 5' to garage | 15' to house, 5' to garage ^B | 5' |
| Building coverage | 50% ^C | 50% ^C | 50% ^C | 50% ^C | 75% ^C |
| Façade zone | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 80% of façade zone length must be occupied by the building |

^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'

^B A garage placed on a corner lot shall abut the rear property line when the lot is adjacent to an alley to the rear of the property. The garage shall not be setback 5'. The garage shall face onto and be accessed from the side street. The garage shall be setback from the side street 18'.

^C Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations.

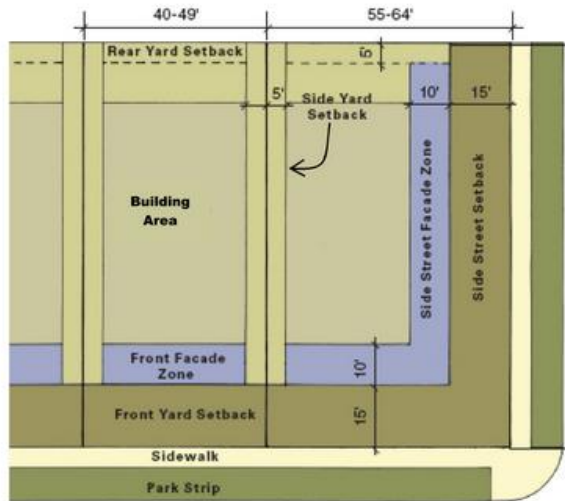
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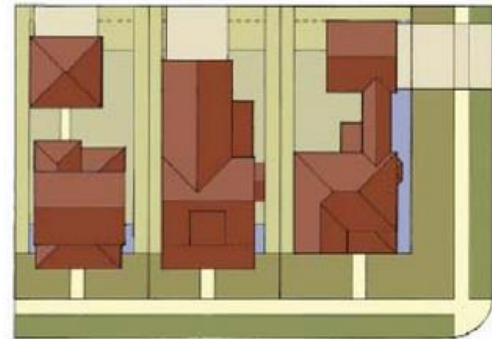
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NEIGHBORHOOD LOTS



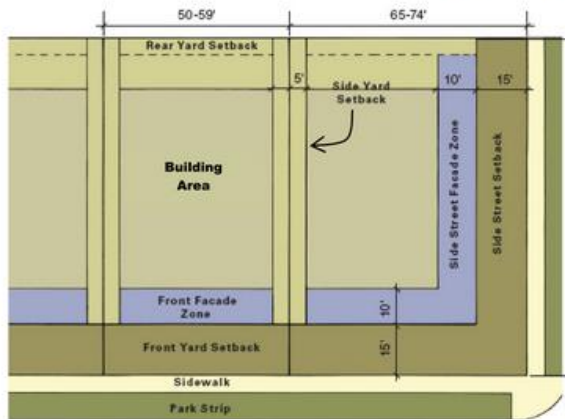
Lot Dimension Standards



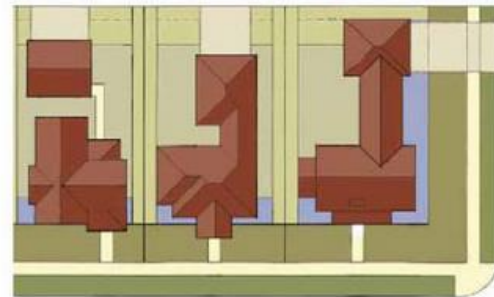
Examples of building placement

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ESTATE LOTS

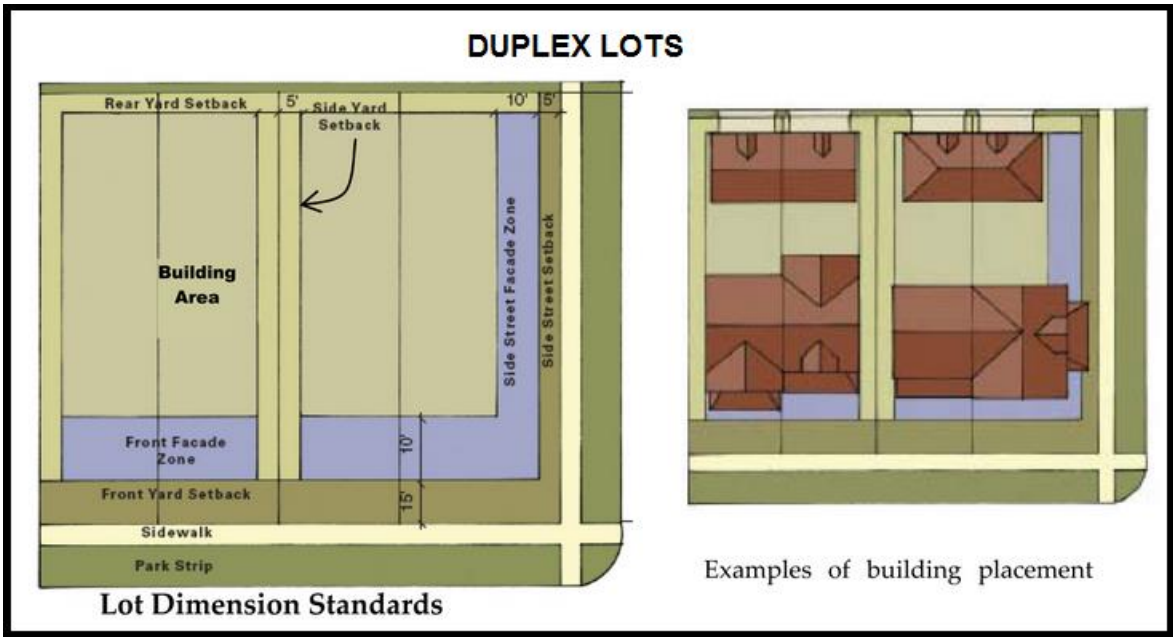


Lot Dimension Standards

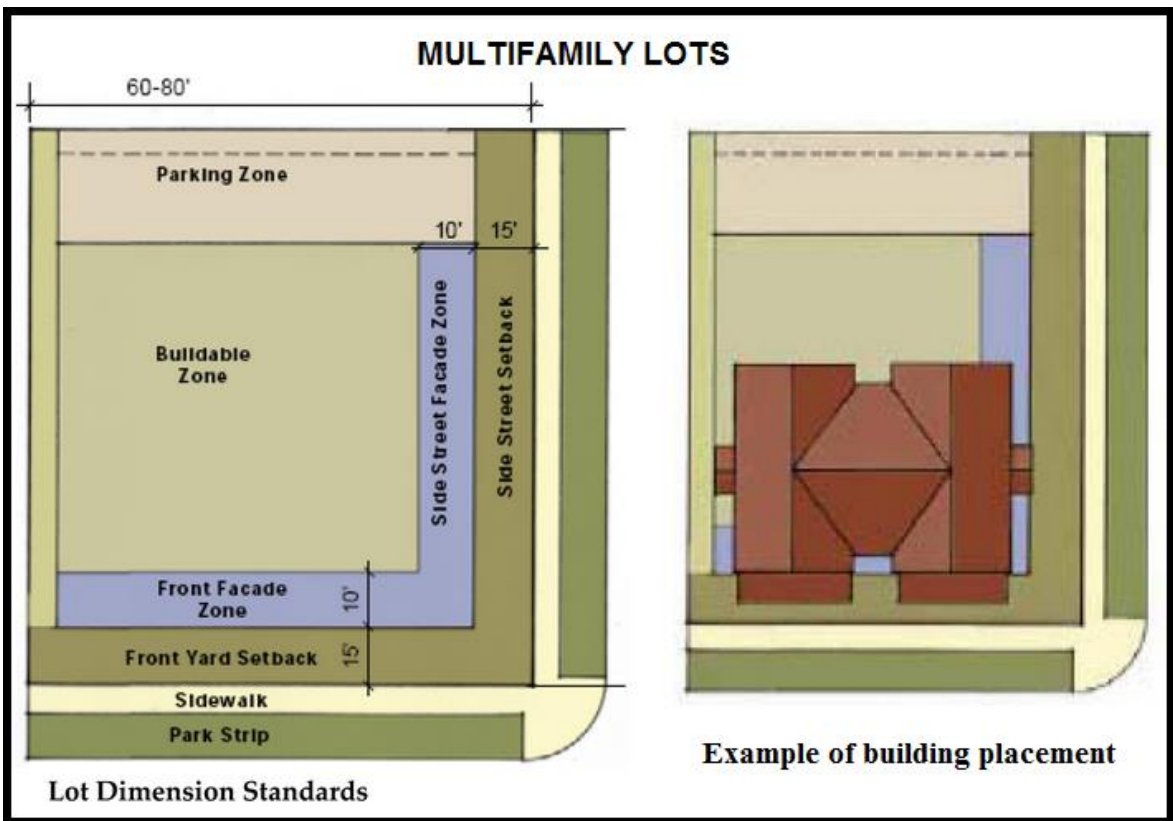


Examples of building placement

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- (4) Development standards.
 - (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural

428 styles, massing, color, or lot type. At least two (2) of these elements must
429 vary for each adjacent building along the same street frontage.

430 (ba) Streets and alleys.

- 431 (i) If a lot is adjacent to only one (1) street, that street is considered
432 the front street for that lot.
- 433 (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall
434 be considered the front street and the wider lot frontage the side
435 street.
- 436 (iii) Alleys shall be created when it is physically feasible and in
437 keeping with the recommendations of the Buckroe Master Plan
438 (2005, as amended). ~~Such alleys shall be a minimum of twenty~~
439 ~~(20) feet in width with a roll-top curb on both sides which shall be~~
440 ~~included in the alley width. Alley corners shall have a radius of~~
441 ~~fifteen (15) feet.~~

442 (eb) Height.

- 443 (i) Total building heights will be measured in stories.
- 444 (ii) Buildings shall not be taller than three (3) stories.
- 445 (iii) Tower elements, cupolas, widow's walks, and similar building
446 features may extend one (1) story above the allowable height for
447 each lot type. These elements may only be used within the
448 appropriate architectural style of building.
- 449 (iv) The maximum floor height from floor-to-floor for first floor
450 residential shall be fifteen (15) feet.
- 451 (v) The maximum floor height from floor-to-floor for first floor
452 commercial buildings shall be eighteen (18) feet.
- 453 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
454 the top floor) on any story above the first shall be twelve (12) feet.
- 455 (vii) Cathedral ceilings may be incorporated within the roof and shall
456 not count toward floor height.
- 457 (viii) Floors that exceed the above standards shall be counted as
458 greater than one (1) story.

459 (dc) Architectural standards.

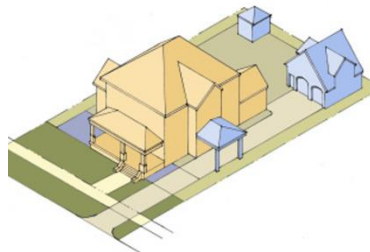
- 460 (i) All buildings shall be consistent with one of the architectural styles
461 identified in the Buckroe Bayfront Pattern Book. Consistency will
462 be determined based on adherence to the design elements of
463 each of the primary building features identified in the pattern book
464 including massing and composition, eave details and wall section,
465 windows and doors, porches, and materials and applications.
- 466 (ii) Primary access for all buildings shall be from a public street or
467 open space. Primary access is not permitted from the parking
468 area or alley. All street facing façades shall have an articulated
469 primary access entrance.
- 470 (iii) The following shall be located in rear yards or side yards not
471 facing a public street or open space:

- 472 (aa) Electrical utility meters
- 473 (bb) Air conditioning compressors
- 474 (cc) Irrigation and pool pumps
- 475 (iv) The following shall be located in rear yards only:
- 476 (aa) Antennas
- 477 (bb) Permanent barbecues
- 478 (cc) Satellite dishes
- 479 (v) The following are prohibited:
- 480 (aa) Undersized shutters (the shutter or shutters must be sized
- 481 so as to equal the width that would be required to cover
- 482 the window opening)



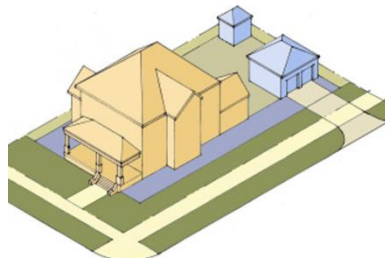
- 483 (bb) Inoperable shutters (the purpose of shutters is to provide
- 484 protection from storms)
- 485 (cc) Shutters made of plastic
- 486 (dd) Reflective and/or bronze-tint glass
- 487 (ee) Plastic or PVC roof tiles
- 488 (ff) Backlit awnings
- 489 (gg) Glossy-finish awnings
- 490 (hh) Fences made of chain link, barbed wire, vinyl, plain wire
- 491 mesh, or coated chain link
- 492
- 493 (vi) Where there is a building façade facing a park or street, the
- 494 façade shall contain transparent windows covering from a
- 495 minimum of twenty (20) percent to a maximum of seventy (70)
- 496 percent of the wall area.
- 497 (5) Accessory buildings or structures.
- 498 (a) Accessory buildings or structures for residential uses may include a
- 499 garage or covered parking, home occupation uses, storage space, and
- 500 storage for trash receptacles.
- 501 (b) The footprint of accessory buildings or structures shall not be larger than
- 502 fifty (50) percent of the main building's footprint.
- 503 (c) Accessory buildings or structures shall not be taller than the main roofline
- 504 of the main building nor shall accessory structures be greater than two (2)
- 505 stories regardless of the height of the main building.

- 506 (d) Accessory buildings or structures larger than one hundred (100) square
 507 feet shall architecturally complement the main building with shared
 508 exterior materials, colors, and roof lines.
- 509 (e) Accessory buildings or structures or trees on single-family lots shall be
 510 set back five (5) feet from the rear property line when adjacent to an alley.
- 511 (f) Accessory dwelling units are permitted under the following conditions:
- 512 (i) Accessory dwellings may only be located on a Village Lot,
 513 Neighborhood Lot, Estate Lot or Duplex Lot. There shall be no
 514 more than one (1) accessory dwelling unit per lot.
- 515 (ii) Accessory dwellings must be a minimum of five hundred (500)
 516 square feet in floor area.
- 517 (iii) The primary dwelling unit and accessory dwelling unit shall not be
 518 rented separately unless one (1) is owner occupied.
- 519 (6) Parking shall be provided as described in chapter 11. In addition, parking shall
 520 be subject to the following standards:
- 521 (a) Village, Neighborhood, Estate, and Duplex Lots:
- 522 (i) All parking shall be provided at the rear of the lot either via a rear
 523 alley or a driveway from the street
- 524 (ii) Where available, alleys shall be used to access parking, except in
 525 the case of single-family corner lots.
- 526 (iii) When alley access is not available, driveways in the area from the
 527 street to the rear line of the house shall be a maximum of ten (10)
 528 feet wide.



Garage placement for front-loaded infill lot

- 529 (iv) Single-family corner lot driveways shall be accessed from the side
 530 street and may be a maximum of fifteen (15) feet wide.
 531



Garage placement for corner lot

- 532 ~~(v) Driveways shall be composed of porous, natural materials, such~~
 533 ~~as stone, brick, crushed stone, pebbles, pervious pavers or~~
 534 ~~poured concrete. If concrete is used, it shall be placed to~~
 535 ~~accommodate tire tracks and not as a single, wide surface.~~
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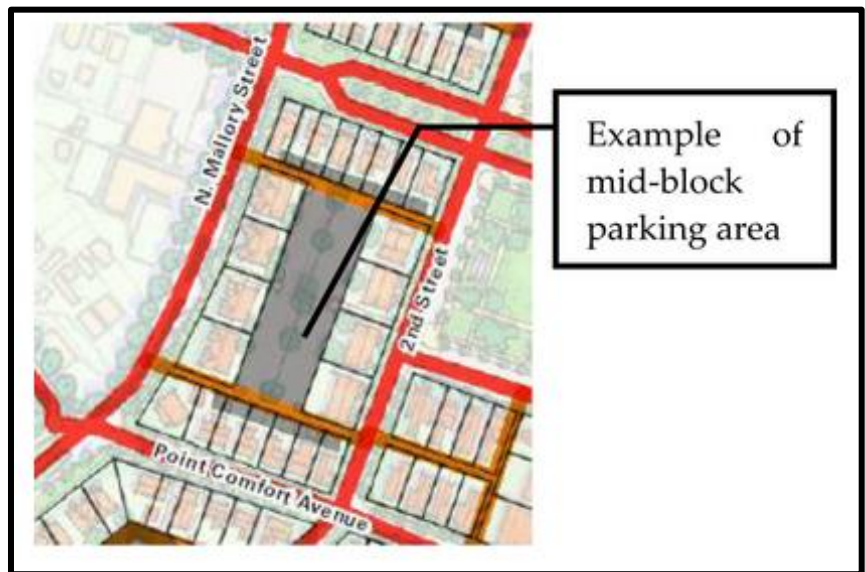


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(vi) ~~When present, parking pads must be at to the rear of the property and may be constructed of a continuous concrete surface or one of the other materials listed for driveway use. Porous materials are encouraged.~~

(b) Multifamily Lots.

(i) All off-street parking shall be in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.



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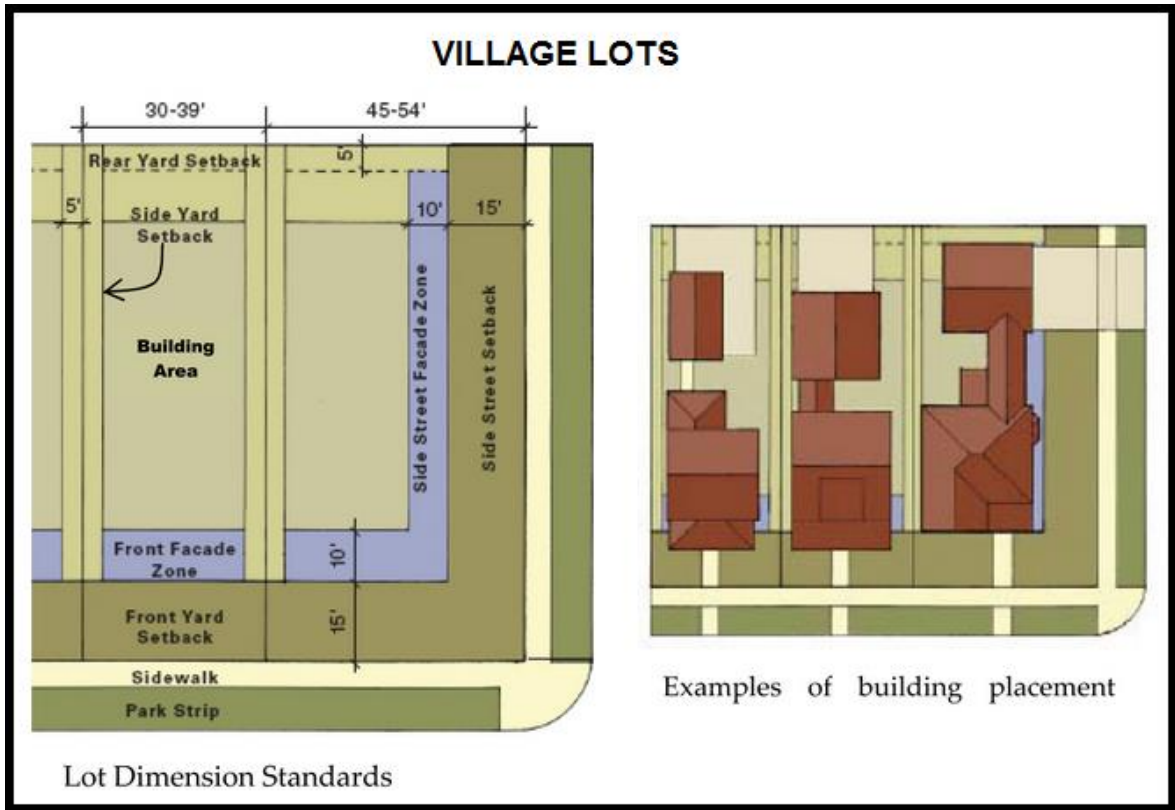
Sec. 8-24. BB-3 District – Buckroe Bayfront Optional Mixed Use.

- 556 (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no
557 use shall be permitted to have a drive-through.
- 558 (2) The following lot types are permitted; in addition, to promote diversity and variety
559 along residential blocks, no block face greater than three hundred (300) feet in
560 length shall be composed of more than seventy-five (75) percent of the same lot
561 type.
- 562 (a) Village Lot
563 (b) Neighborhood Lot
564 (c) Estate Lot
565 (d) Duplex Lot
566 (e) Multifamily Lot
567 (f) Mixed Use Lot
- 568 (3) Table of Lot Standards. The following table describes the requirements for each
569 lot type permitted. Lot widths are an allowable range; lot depth, interior side
570 setback, rear setback, and façade zone coverage are minimum dimensions;
571 street side setback and front setback are required build-to lines; the façade zone
572 is a fixed required width; building coverage is a maximum. Small variations to the
573 dimensional requirements found in this table can be allowed as per subsection 8-
574 10(9) above. Flag lots are not permitted.

| | Village | Neighborhood | Estate | Duplex | Multifamily | Mixed Use |
|-----------------------|---------------------------------------------------------------------------|---------------------------------------------------------------------------|-----------------------------------------------------------|-----------------------------------------------------------|-----------------------------------------------------------|-----------------------------------------------------------|
| Lot size, interior | 30'-39' front, 80' deep | 40'-49' front, 80' deep | 50'-59' front, 100' deep | 22'-30' front, 100' deep | 60'-80' front, 100' deep | 60'-80' front, 100' deep |
| Lot size, corner | 45'-54' front, 80' deep | 55'-64' front, 80' deep | 65'-74' front, 100' deep | 45'-50' front, 100' deep | 70'-90' front, 100' deep | 70'-90' front, 100' deep |
| Front setback | 15' ^A | 15' ^A | 15' ^A | 15' ^A | 15' ^A | 15' ^A |
| Interior side setback | 5' | 5' | 5' | 5' when detached | 10' when detached | 10' when detached |
| Street side setback | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' to house ^A , 18' to garage | 15' ^A | 15' ^A |
| Rear setback | 15' to house, 5' to garage | 15' to house, 5' to garage ^A | 20' to house, 5' to garage | 15' to house, 5' to garage ^B | 5' | 5' |
| Building coverage | 50% ^C | 50% ^C | 50% ^C | 50% ^C | 75% ^C | 75% ^C |
| Façade zone | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied by the building | 10' deep, min. 40% of façade zone length must be occupied | 10' deep, min. 40% of façade zone length must be occupied | 10' deep, min. 80% of façade zone length must be occupied | 10' deep, min. 80% of façade zone length must be occupied |

| | | | by the building | by the building | by the building | by the building |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|-----------------|-----------------|-----------------|-----------------|
| <p>^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'</p> <p>^B A garage placed on a corner lot shall abut the rear property line when the lot is adjacent to an alley to the rear of the property. The garage shall not be setback 5'. The garage shall face onto and be accessed from the side street. The garage shall be setback from the side street 18'.</p> <p>^C Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations.</p> | | | | | | |

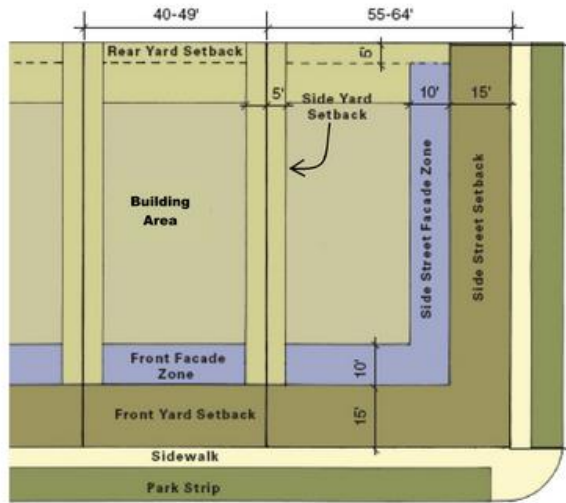
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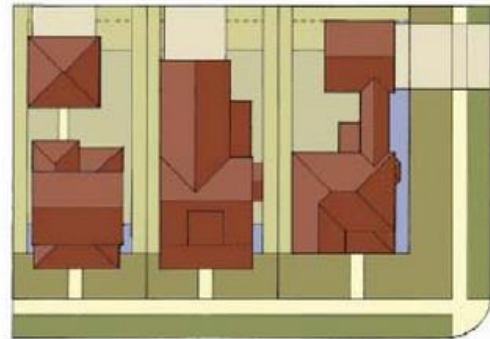
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NEIGHBORHOOD LOTS



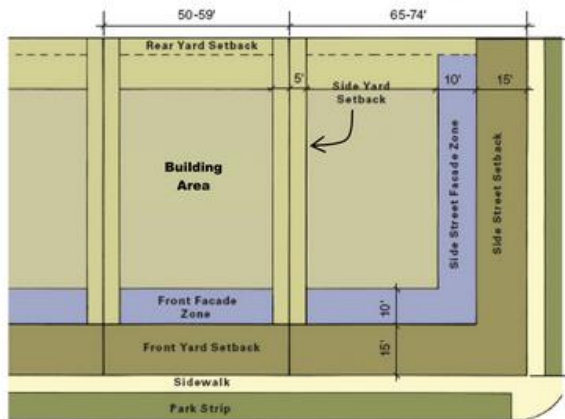
Lot Dimension Standards



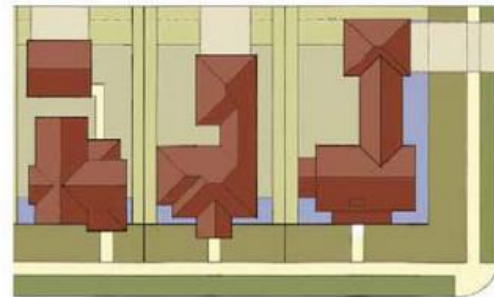
Examples of building placement

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ESTATE LOTS



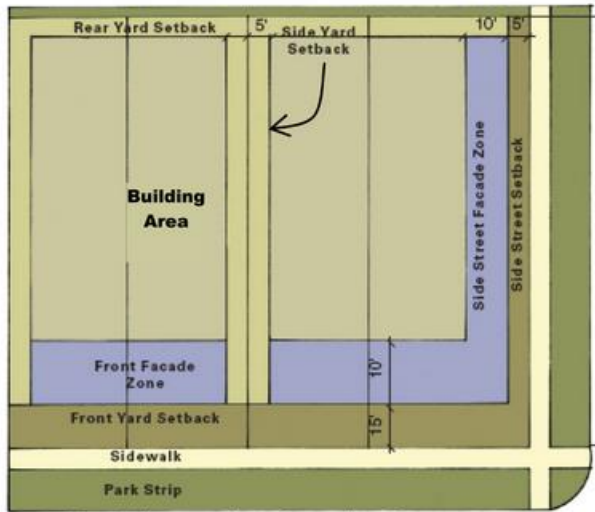
Lot Dimension Standards



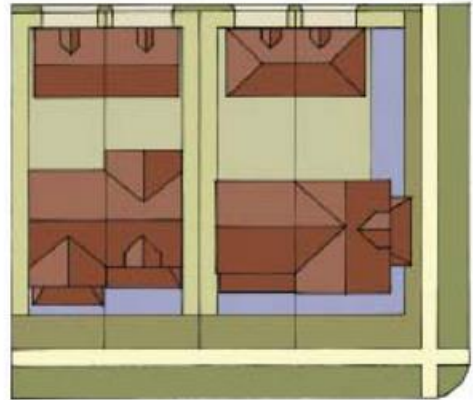
Examples of building placement

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DUPLEX LOTS



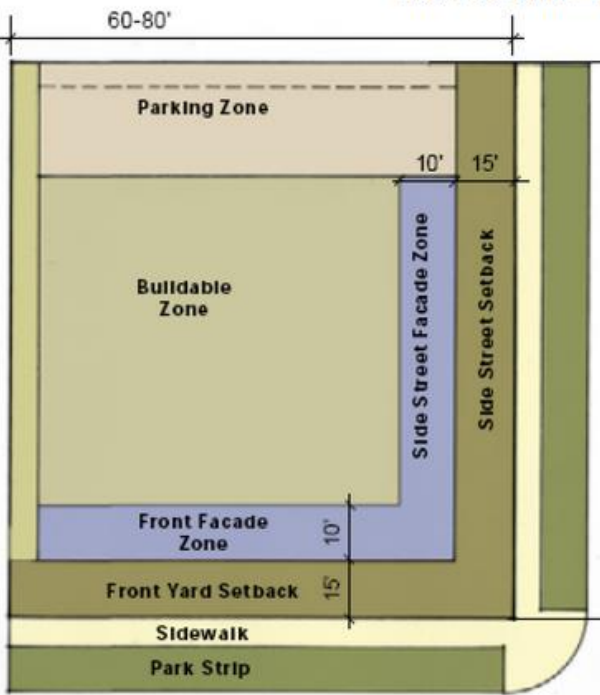
Lot Dimension Standards



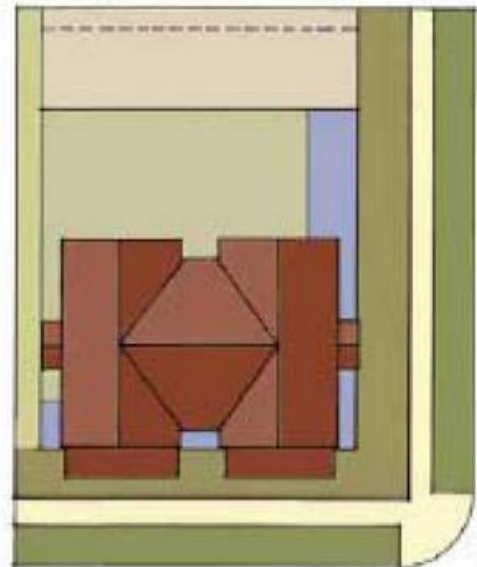
Examples of building placement

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MULTIFAMILY LOTS

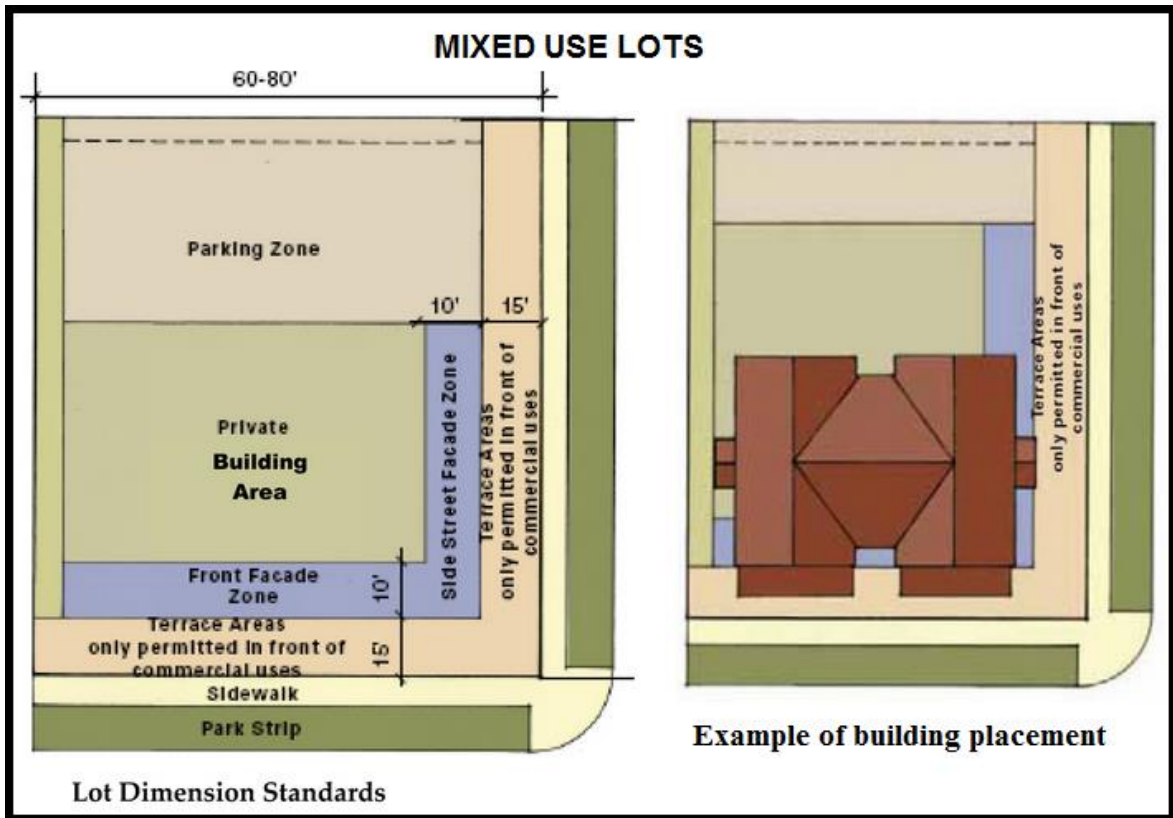


Lot Dimension Standards



Example of building placement

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- (4) Development standards.
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (b) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.
 - (iii) Alleys shall be created when it is physically feasible and in keeping with the recommendations of the Buckroe Master Plan (2005, as amended). ~~Such alleys shall be a minimum of twenty (20) feet in width with a roll-top curb on both sides which shall be included in the alley width. Alley corners shall have a radius of fifteen (15) feet.~~
 - (c) Height.
 - (i) Total building heights will be measured in stories.
 - (ii) Buildings shall not be taller than three (3) stories.
 - (iii) Tower elements, cupolas, widow's walks, and similar building features may extend one (1) story above the allowable height for

- 610 each lot type. These elements may only be used within the
611 appropriate architectural style of building.
- 612 (iv) The maximum floor height from floor-to-floor for first floor
613 residential shall be fifteen (15) feet.
- 614 (v) The maximum floor height from floor-to-floor for first floor
615 commercial buildings shall be eighteen (18) feet.
- 616 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
617 the top floor) on any story above the first shall be twelve (12) feet.
- 618 (vii) Cathedral ceilings may be incorporated within the roof and shall
619 not count toward floor height.
- 620 (viii) Floors that exceed the above standards shall be counted as
621 greater than one (1) story.
- 622 (d) Architectural standards.
- 623 (i) All buildings shall be consistent with one of the architectural styles
624 identified in the Buckroe Bayfront Pattern Book. Consistency will
625 be determined based on adherence to the design elements of
626 each of the primary building features identified in the pattern book
627 including massing and composition, eave details and wall section,
628 windows and doors, porches, and materials and applications.
- 629 (ii) Primary access for all buildings shall be from a public street or
630 open space. Primary access is not permitted from the parking
631 area or alley. All street facing façades shall have an articulated
632 primary access entrance.
- 633 (iii) The following shall be located in rear yards or side yards not
634 facing a public street or open space:
- 635 (aa) Electrical utility meters
636 (bb) Air conditioning compressors
637 (cc) Irrigation and pool pumps
- 638 (iv) The following shall be located in rear yards only:
- 639 (aa) Antennas
640 (bb) Permanent barbecues
641 (cc) Satellite dishes
- 642 (v) The following are prohibited:
- 643 (aa) Undersized shutters (the shutter or shutters must be sized
644 so as to equal the width that would be required to cover
645 the window opening)



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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (vi) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.
- (5) Accessory buildings or structures.
 - (a) Accessory buildings or structures for residential uses may include a garage or covered parking, home occupation uses, storage space, and storage for trash receptacles.
 - (b) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (c) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (d) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
 - (e) Accessory buildings or structures or trees on single-family lots shall be set back five (5) feet from the rear property line when adjacent to an alley.
 - (f) Accessory dwelling units are permitted under the following conditions:
 - (i) Accessory dwellings may only be located on a Village Lot, Neighborhood Lot, Estate Lot or Duplex Lot. There shall be no more than one (1) accessory dwelling unit per lot.
 - (ii) Accessory dwellings must be a minimum of five hundred (500) square feet in floor area.

680 (iii) The primary dwelling unit and accessory dwelling unit shall not be
681 rented separately unless one (1) is owner occupied.

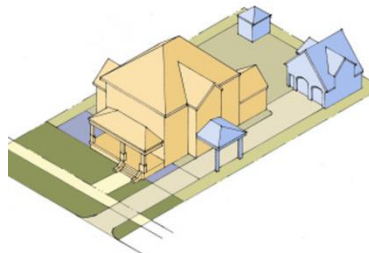
682 (6) Parking shall be provided as described in chapter 11. In addition, parking shall
683 be subject to the following standards:

684 (a) Village, Neighborhood, Estate, and Duplex Lots

685 (i) All parking shall be provided at the rear of the lot either via a rear
686 alley or a driveway from the street

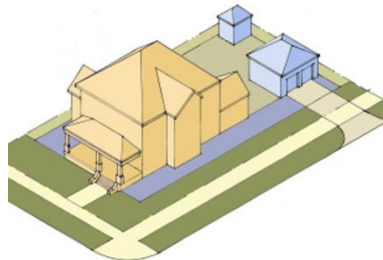
687 (ii) Where available, alleys shall be used to access parking, except in
688 the case of single-family corner lots.

689 (iii) When alley access is not available, driveways in the area from the
690 street to the rear line of the house shall be a maximum of ten (10)
691 feet wide.



Garage placement for front-loaded infill lot

692 (iv) Single-family corner lot driveways shall be accessed from the side
693 street and may be a maximum of fifteen (15) feet wide.
694



Garage placement for corner lot

695 ~~(v) Driveways shall be composed of porous, natural materials, such~~
696 ~~as stone, brick, crushed stone, pebbles, pervious pavers or~~
697 ~~poured concrete. If concrete is used, it shall be placed to~~
698 ~~accommodate tire tracks and not as a single, wide surface.~~
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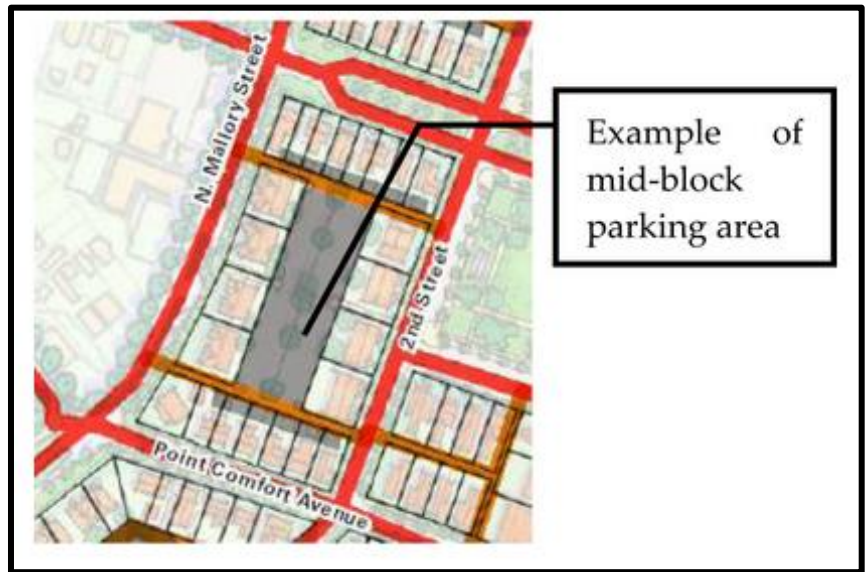


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(vi) ~~When present, parking pads must be at to the rear of the property and may be constructed of a continuous concrete surface or one of the other materials listed for driveway use. Porous materials are encouraged.~~

(b) Multifamily and mixed use lots.

(i) All off-street parking shall be in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.

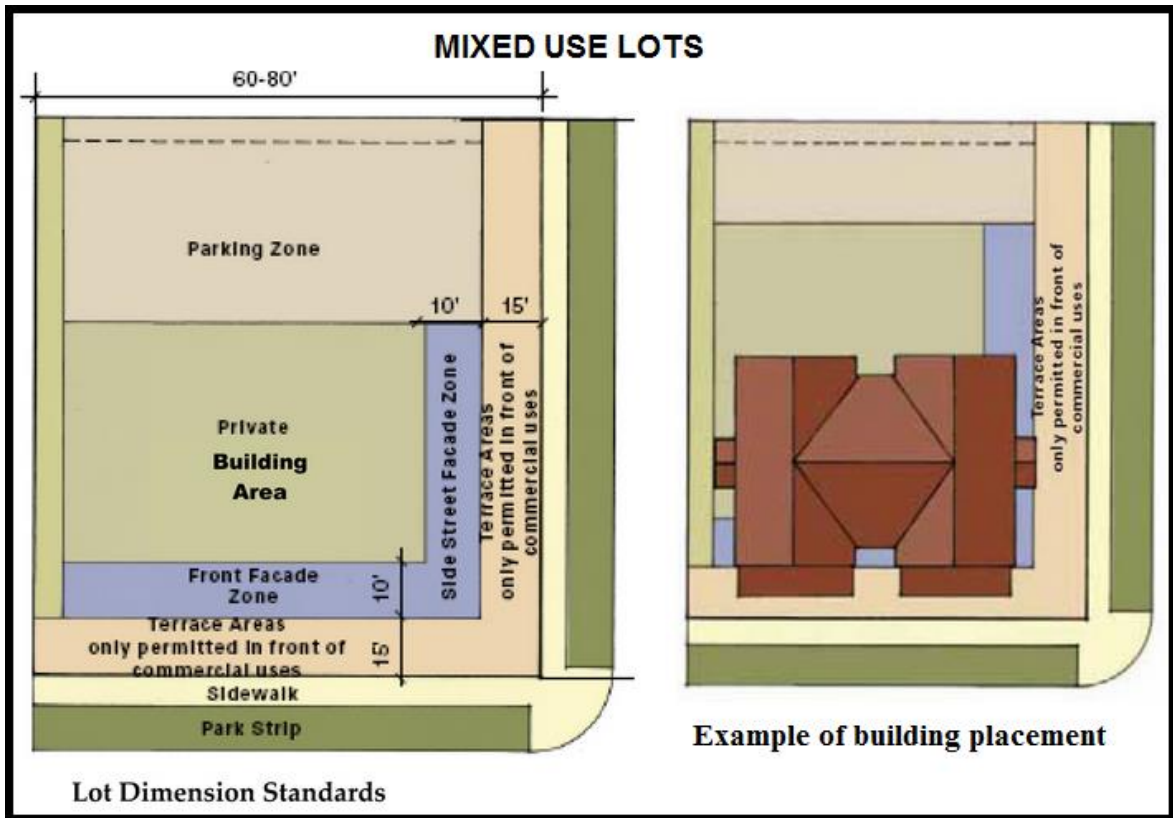


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Sec. 8-25. BB-4 District – Buckroe Bayfront Required Mixed Use.

- 719 (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no
 720 use shall be permitted to have a drive-through.
- 721 (2) The following lot types are permitted:
- 722 (a) Mixed Use Lot
- 723 (3) Table of Lot Standards. The following table describes the requirements for each
 724 lot type permitted. Lot widths are an allowable range; lot depth, interior side
 725 setback, rear setback, and façade zone coverage are minimum dimensions;
 726 street side setback and front setback are required build-to lines; the façade zone
 727 is a fixed required width; building coverage is a maximum. Small variations to the
 728 dimensional requirements found in this table can be allowed as per subsection 8-
 729 10(9) above. Flag lots are not permitted.

| | Mixed Use |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|
| Lot size, interior | 60'-80' front, 100' deep |
| Lot size, corner | 70'-90' front, 100' deep |
| Front setback | 15' ^A |
| Interior side setback | 10' when detached |
| Street side setback | 15' ^A |
| Rear setback | 5' |
| Building coverage | 75% ^B |
| Façade zone | 10' deep, min. 80% of façade zone length must be occupied by the building |
| ^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2' ^B Accessory structures (enclosed garages, sheds, etc.) shall be included in building coverage calculations. Open balconies, porches, decks, driveways, and parking pads shall not be included in building coverage calculations. | |



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- (4) Development standards.
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
 - (b) Streets and alleys.
 - (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
 - (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.
 - (iii) Alleys shall be created when it is physically feasible and in keeping with the recommendations of the Buckroe Master Plan (2005, as amended). ~~Such alleys shall be a minimum of twenty (20) feet in width with a roll-top curb on both sides which shall be included in the alley width. Alley corners shall have a radius of fifteen (15) feet.~~
 - (c) Height.
 - (i) Total building heights will be measured in stories.
 - (ii) Buildings shall not be taller than three (3) stories.
 - (iii) Tower elements, cupolas, widow's walks, and similar building features may extend one (1) story above the allowable height for

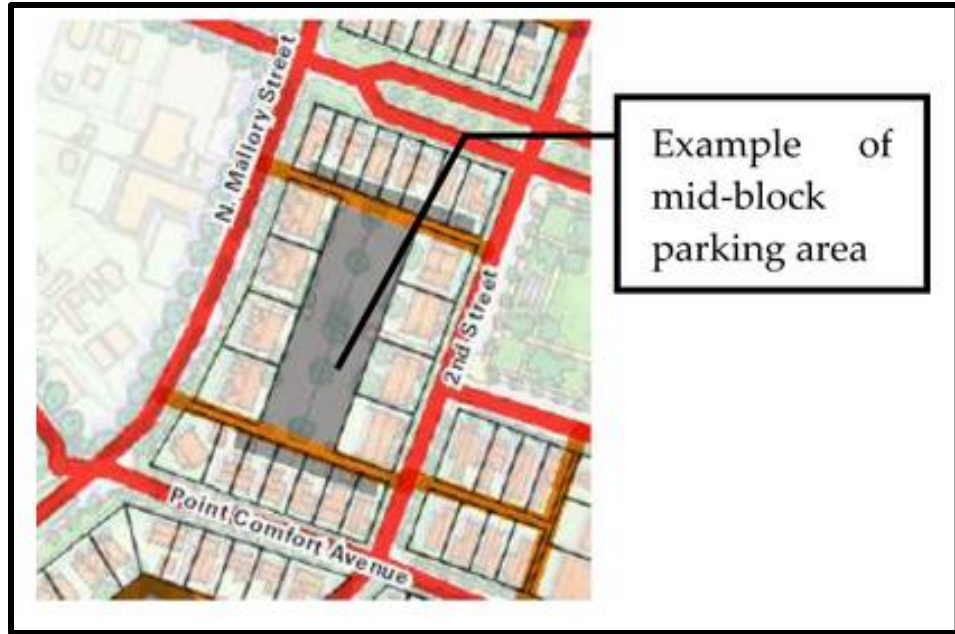
- 755 each lot type. These elements may only be used within the
756 appropriate architectural style of building.
- 757 (iv) The maximum floor height from floor-to-floor for first floor
758 residential shall be fifteen (15) feet.
- 759 (v) The maximum floor height from floor-to-floor for first floor
760 commercial buildings shall be eighteen (18) feet.
- 761 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
762 the top floor) on any story above the first shall be twelve (12) feet.
- 763 (vii) Cathedral ceilings may be incorporated within the roof and shall
764 not count toward floor height.
- 765 (viii) Floors that exceed the above standards shall be counted as
766 greater than one (1) story.
- 767 (d) Architectural standards.
- 768 (i) All buildings shall be consistent with one of the architectural styles
769 identified in the Buckroe Bayfront Pattern Book. Consistency will
770 be determined based on adherence to the design elements of
771 each of the primary building features identified in the pattern book
772 including massing and composition, eave details and wall section,
773 windows and doors, porches, and materials and applications.
- 774 (ii) Primary access for all buildings shall be from a public street or
775 open space. Primary access is not permitted from the parking
776 area or alley. All street facing façades shall have an articulated
777 primary access entrance.
- 778 (iii) The following shall be located in rear yards or side yards not
779 facing a public street or open space:
- 780 (aa) Electrical utility meters
- 781 (bb) Air conditioning compressors
- 782 (cc) Irrigation and pool pumps
- 783 (iv) The following shall be located in rear yards only:
- 784 (aa) Antennas
- 785 (bb) Permanent barbecues
- 786 (cc) Satellite dishes
- 787 (v) The following are prohibited:
- 788 (aa) Undersized shutters (the shutter or shutters must be sized
789 so as to equal the width that would be required to cover
790 the window opening)



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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (vi) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.

- (5) Accessory buildings or structures.
- (a) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (b) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (c) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
- (6) Parking shall be provided as described in chapter 11. In addition, parking shall be subject to the following standards:
- (a) Mixed use lots shall have all off-street parking in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.



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Sec. 8-26. BB-5 District – Buckroe Bayfront Special

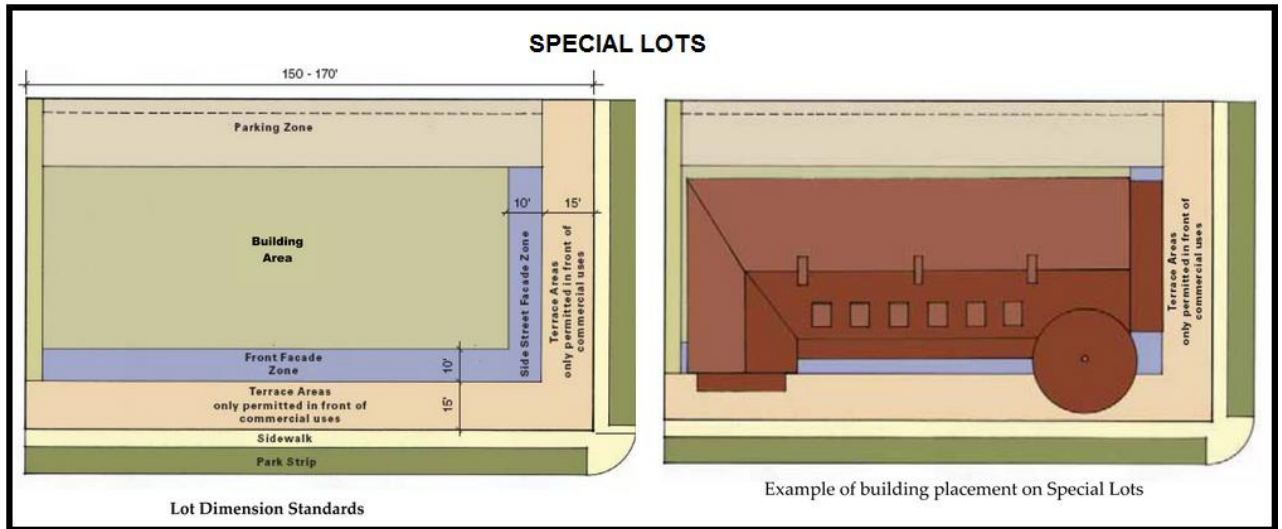
- (1) Permitted uses shall be as set forth in chapter 3—Uses Permitted. In addition, no use shall be permitted to have a drive-through.
- (2) The following lot types are permitted:
 - (a) Special Lot
- (3) Table of Lot Standards. The following table describes the requirements for each lot type permitted. Lot widths are an allowable range; lot depth, interior side setback, rear setback, and façade zone coverage are minimum dimensions; street side setback and front setback are required build-to lines; the façade zone is a fixed required width; building coverage is a maximum. Small variations to the dimensional requirements found in this table can be allowed as per subsection 8-10(9) above. Flag lots are not permitted.

| | Special |
|-----------------------|------------------------------------|
| Lot size, interior | N/A not permitted on interior lots |
| Lot size, corner | 150'-175' wide, 100' deep |
| Front setback | 15' ^A |
| Interior side setback | 10' when detached |
| Street side setback | 15' ^A |
| Rear setback | 5' |
| Building coverage | None |

| | |
|-------------|---------------------------------------------------------------------------|
| Façade zone | 10' deep, min. 80% of façade zone length must be occupied by the building |
|-------------|---------------------------------------------------------------------------|

^A The following encroachments are permitted: porches and balconies up to 5'; steps may encroach an additional 5' beyond porches, stoops and similar features; bay windows, patios and fireplaces ≤10' wide may encroach up to 2'

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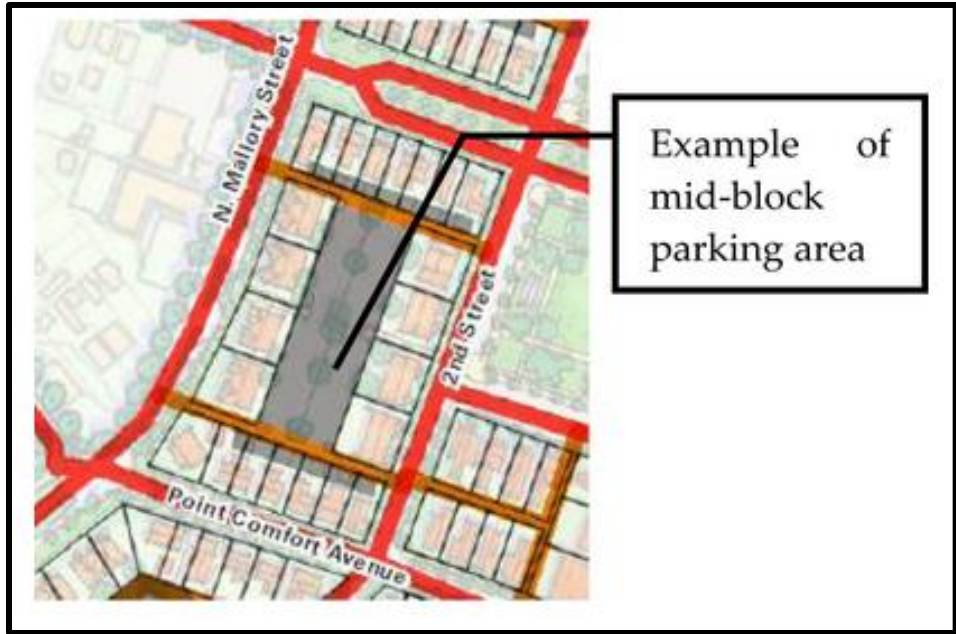
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- (4) Development standards.
- (a) Variation. Adjacent buildings shall be visually distinct from each other. This distinction may be achieved by varying materials, architectural styles, massing, color, or lot type. At least two (2) of these elements must vary for each adjacent building along the same street frontage.
- (b) Streets and alleys.
- (i) If a lot is adjacent to only one (1) street, that street is considered the front street for that lot.
- (ii) If a lot is adjacent to two (2) streets, the narrower lot frontage shall be considered the front street and the wider lot frontage the side street.
- (iii) Alleys shall be created when it is physically feasible and in keeping with the recommendations of the Buckroe Master Plan (2005, as amended). ~~Such alleys shall be a minimum of twenty (20) feet in width with a roll-top curb on both sides which shall be included in the alley width. Alley corners shall have a radius of fifteen (15) feet.~~
- (c) Height.

- 860 (i) Total building heights will be measured in stories.
- 861 (ii) Buildings shall not be taller than four (4) stories.
- 862 (iii) Tower elements, cupolas, widow's walks, and similar building
- 863 features may extend one (1) story above the allowable height for
- 864 each lot type. These elements may only be used within the
- 865 appropriate architectural style of building.
- 866 (iv) The maximum floor height from floor-to-floor for first floor
- 867 residential shall be fifteen (15) feet.
- 868 (v) The maximum floor height from floor-to-floor for first floor
- 869 commercial buildings shall be eighteen (18) feet.
- 870 (vi) The maximum floor height from floor-to-floor (floor-to-ceiling on
- 871 the top floor) on any story above the first shall be twelve (12) feet.
- 872 (vii) Cathedral ceilings may be incorporated within the roof and shall
- 873 not count toward floor height.
- 874 (viii) Floors that exceed the above standards shall be counted as
- 875 greater than one (1) story.
- 876 (d) Architectural standards.
- 877 (i) All buildings shall be consistent with one of the architectural styles
- 878 identified in the Buckroe Bayfront Pattern Book. Consistency will
- 879 be determined based on adherence to the design elements of
- 880 each of the primary building features identified in the pattern book
- 881 including massing and composition, eave details and wall section,
- 882 windows and doors, porches, and materials and applications.
- 883 (ii) Primary access for all buildings shall be from a public street or
- 884 open space. Primary access is not permitted from the parking
- 885 area or alley. All street facing façades shall have an articulated
- 886 primary access entrance.
- 887 (iii) The following shall be located in rear yards or side yards not
- 888 facing a public street or open space:
- 889 (aa) Electrical utility meters
- 890 (bb) Air conditioning compressors
- 891 (cc) Irrigation and pool pumps
- 892 (iv) The following shall be located in rear yards only:
- 893 (aa) Antennas
- 894 (bb) Permanent barbecues
- 895 (cc) Satellite dishes
- 896 (v) The following are prohibited:
- 897 (aa) Undersized shutters (the shutter or shutters must be sized
- 898 so as to equal the width that would be required to cover
- 899 the window opening)



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- (bb) Inoperable shutters (the purpose of shutters is to provide protection from storms)
 - (cc) Shutters made of plastic
 - (dd) Reflective and/or bronze-tint glass
 - (ee) Plastic or PVC roof tiles
 - (ff) Backlit awnings
 - (gg) Glossy-finish awnings
 - (hh) Fences made of chain link, barbed wire, vinyl, plain wire mesh, or coated chain link
- (vi) Where there is a building façade facing a park or street, the façade shall contain transparent windows covering from a minimum of twenty (20) percent to a maximum of seventy (70) percent of the wall area.
- (5) Accessory buildings or structures.
 - (a) The footprint of accessory buildings or structures shall not be larger than fifty (50) percent of the main building's footprint.
 - (b) Accessory buildings or structures shall not be taller than the main roofline of the main building nor shall accessory structures be greater than two (2) stories regardless of the height of the main building.
 - (c) Accessory buildings or structures larger than one hundred (100) square feet shall architecturally complement the main building with shared exterior materials, colors, and roof lines.
 - (6) Parking shall be provided as described in chapter 11. In addition, parking shall be subject to the following standards:
 - (a) Special lots shall have all off-street parking in the mid-block area behind the main structures and all or a portion of such spaces may be provided as tuck-under parking on the ground floor but shall not be visible from the front street and shall be screened from the side street. All such parking areas shall be accessed via an alley and may be between two (2) alleys or the alley may serve as a central drive aisle for the parking area. Additionally, parking spaces may be aligned to allow double parking when the two (2) spaces are assigned to the same unit.



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Secs. 8-27-8-30. Reserved.

ARTICLE 4. HAMPTON ROADS CENTER DISTRICTS