



# Application for Use Permit

OFFICE USE ONLY  
Date Received:

**JULY 19, 2023**

Case Number: **UP 23 - 00072**

Complete this application in its entirety and submit pages 4 and 5 along with the required materials (including any required supplements) as listed on page 2 to the address below:

**City of Hampton  
Community Development Department, Planning Division  
22 Lincoln Street, 5th Floor  
Hampton, Virginia 23669**

### 1. PROPERTY INFORMATION

Address or Location \_\_\_\_\_

LRSN \_\_\_\_\_ Zoning District \_\_\_\_\_

Current Land Use \_\_\_\_\_

Proposed Land Use \_\_\_\_\_

The proposed use will be in:     an existing building     a new addition     a new building

### 2. PROPERTY OWNER INFORMATION (an individual or a legal entity may be listed as owner)

Owner's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_ Email \_\_\_\_\_

### 3. APPLICANT INFORMATION (if different from owner)

Applicant's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_ Email \_\_\_\_\_

### 4. APPLICANT AGENT INFORMATION (if different from applicant)

Agent's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_ Email \_\_\_\_\_

**5. CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS**

Complete this section only if the property owner is **not** an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. as specified in Step 2 above.

*"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."*

Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity Fiscella and Fiscella, L.L.C.

Signed by: Name (printed) Paul A. Fiscella, Its (title) Vice President

Signature Paul A. Fiscella Date 07/17/2023

Name (printed) \_\_\_\_\_, Its (title) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_, Its (title) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

**6. CERTIFICATION FOR INDIVIDUAL PROPERTY OWNERS**

Complete this section only if the property owner is an individual or individuals.

*"I hereby submit that I am the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."*

Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) \_\_\_\_\_

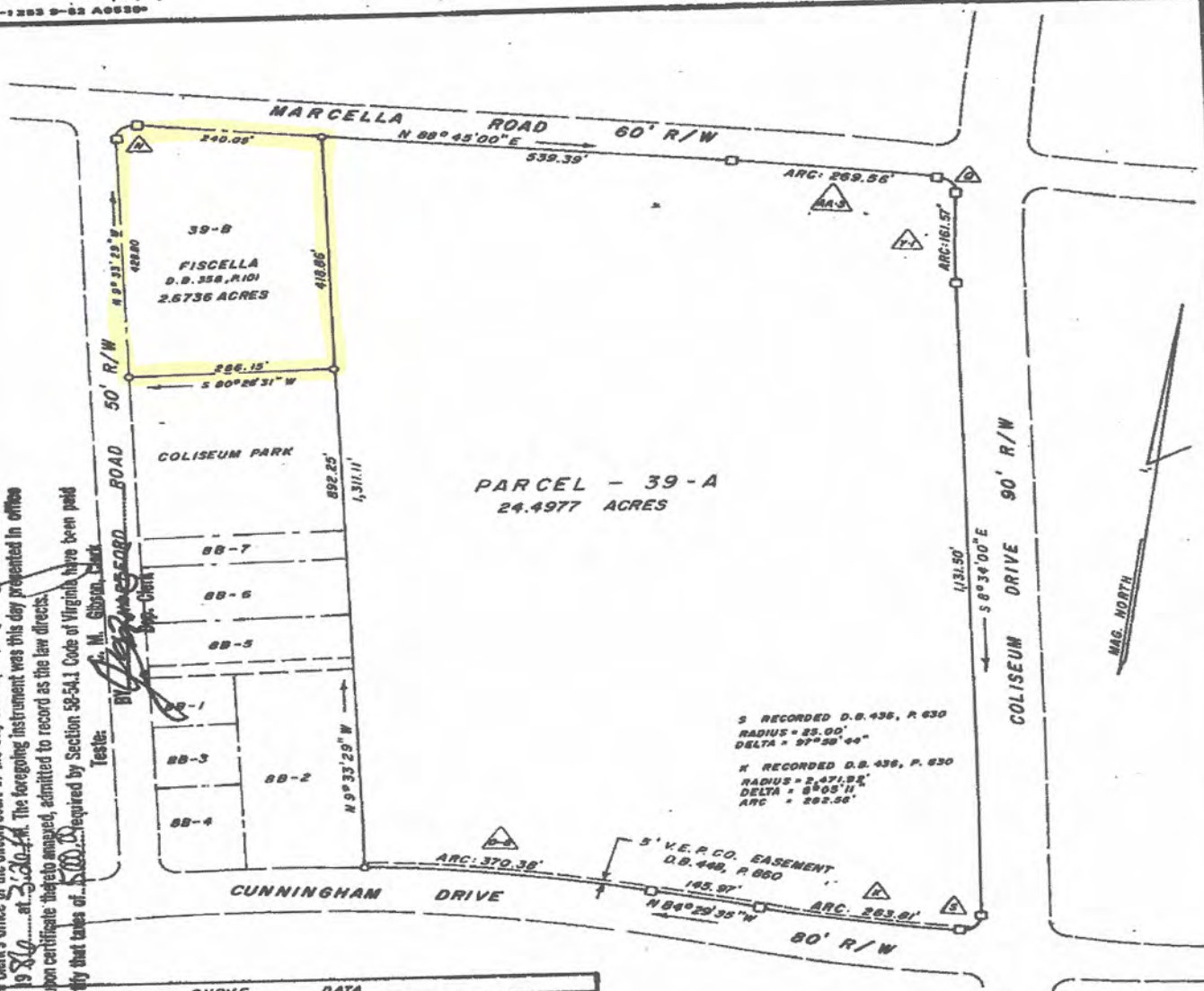
Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

<i>OFFICE USE ONLY</i>		
<input type="checkbox"/> Application Form	<input type="checkbox"/> Narrative Statement	<input type="checkbox"/> Supplemental Form (if required)
<input type="checkbox"/> Application Fee	<input type="checkbox"/> Survey Plat	<input type="checkbox"/> Additional materials (if required)

MGK 19-1283 9-82 A0539



The Clerk's Office of the Circuit Court of the City of Hampton, Virginia, on this day presented in office  
 D. 19 86 at 3:00 P.M. The foregoing instrument was this day presented in office  
 upon certificate thereto annexed, admitted to record as the law directs.  
 Teste: M. M. Gibson, Clerk  
 5/27/86

S RECORDED D.B. 436, P. 630  
 RADIUS = 25.00'  
 DELTA = 97°28'44"  
 K RECORDED D.B. 436, P. 630  
 RADIUS = 2,471.92'  
 DELTA = 8°05'11"  
 ARC = 282.56'

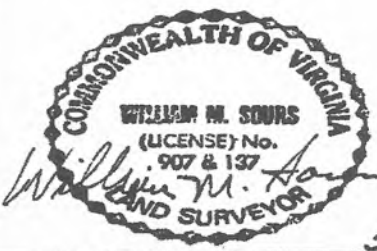
5' V.E.R.C.D. EASEMENT  
 D.B. 448, P. 860  
 185.97'  
 N 88°29'35" W  
 ARC: 263.81'

NO.	RADIUS	DELTA	TANGENT	ARC	CHORD	CHORD BEARING	DEGREE
K	2,471.92'	8°05'11"	132.03'	263.81'	263.86'	N 87°33'01.5" W	2.5179°
O-B	2,090.32'	10°08'07"	185.88'	370.58'	369.90'	N 88°34'08.5" W	2.7408°
N	25.00'	98°46'28"	28.92'	42.90'	37.88'		229.1833°
M-S	4,525.00'	3°23'28.5"	134.92'	268.38'	269.82'	S 88°35'16.75" E	1.8878°
T-1	2,846.87'	3°15'07.2"	80.81'	161.37'	161.38'	S 88°35'26.25" E	2.0180°
S	25.00'	97°28'44"	28.74'	42.74'	37.72'		229.1833°
O	25.00'	82°32'41"	21.96'	38.82'	32.98'		229.1833°

LEGAL RESUME  
 D.B. 358, P. 101

HAMPTON, VIRGINIA  
 Plat showing PARCEL -39-A  
 Property of: R. J. & D. J. Fiscella

Scale: 1"=200'  
 Magnetic calculated bearings



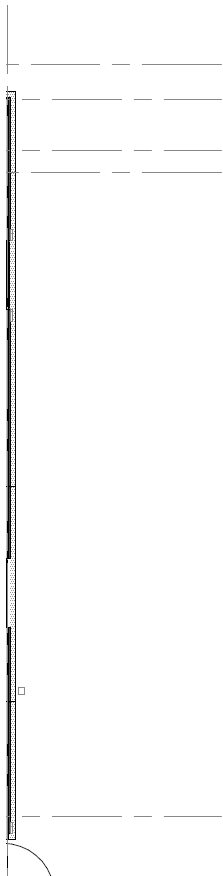
5/27/86

WILLIAM M. SOURS - SURVEYOR  
 HAMPTON, VIRGINIA - 23066

## SITE STATISTICAL INFORMATION

1.	SITE LOCATION	2121 HARTFORD ROAD, HAMPTON VA	
2.	TYPE OF DEVELOPMENT	HOTEL	
3.	PARCEL ZONING	C-2 LIMITED COMMERCIAL, O-CC COLISEUM CENTRAL OVERLAY	
4.	100-YR FLOOD INFO.	THE PROPERTY SHOWN HEREON LIES WITHIN ZONE 'X'	
5.	TOTAL SITE AREA	116,462 SF± (2.6736 AC)	
6.	PROPOSED ROOMS	103	
7.	PARKING REQUIREMENTS FOR PROPOSED HOTEL MIN. SPACES REQ. – HOTEL (1/ROOM MIN. 1.25 MAX.) + 1/75 SF MEETING OR BANQUET ROOM	(1 * 103 ROOMS) = 103 SPACES MIN.	
8.	PROPOSED PARKING SPACES	115 SPACES	
9.	ADA SPACES REQUIRED (VAN) / PROPOSED (VAN)	4 (1) / 4 (2)	
10.	PROPOSED BUILDING HEIGHT	BUILDING HEIGHT: 45'-6.5"	
11.	REQUIRED SETBACKS WITHIN O-CC COLISEUM CENTRAL OVERLAY FRONT BUILDING SETBACK SIDE BUILDING SETBACK REAR BUILDING SETBACK	24' 19' 19'	
12.	FRONT PARKING SETBACK SIDE PARKING SETBACK REAR PARKING SETBACK	15' 10' 10'	
13.	SITE GREEN SPACE REQUIRED (SF) AT 10% PF SITE AREA	11,646 SF REQUIRED	41,000 SF± PROVIDED (35.2%)

## BUILDING STATISTICAL INFORMATION



SQUARE FOOTAGE COMPARED		
SPACE	ORIGINAL SF	NEW SF
FIRST FLOOR		
CONDITIONED	15348	14506 SF
COURTYARD	3143	3143 SF
EGRESS WALKWAY	2141	2142 SF
SECOND FLOOR		
CONDITIONED	15123	14288 SF
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THIRD FLOOR		
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EGRESS BALCONY	2227	2227 SF
FOURTH FLOOR		
CONDITIONED	15127	14291 SF
EGRESS BALCONY	2227	2227 SF
GRAND TOTAL	72689 SF	69343 SF
TOTAL DIFFERENCE		-3346 SF

GUESTROOM DATA										
	MGR. (UNIT M)	UNIT K	UNIT K (MOD 2)	UNIT K-ADA	UNIT K-ADA-S	UNIT QQ	UNIT QQ (MOD 2)	UNIT QQ-ADA	UNIT QQ-ADA-S	TOTAL
FIRST	1	14	1	0	1	2	2	0	1	22
SECOND	0	14	4	1	0	3	4	1	0	27
THIRD	0	14	4	1	0	3	4	1	0	27
FOURTH	0	14	4	0	0	4	4	1	0	27
TOTAL	1	56	13	2	1	12	14	3	1	103



# COLISEUM CENTRAL HOSPITALITY, LLC

## Narrative:

Coliseum Central Hospitality, LLC, proposes to build a 4 story 103 all-suites extended stay hotel facility at 2122 Hartford Road Hampton VA within the Coliseum Central District. Total Square footage of the building to be approx.69,500. There will be a total of 115 parking spaces of which 4 shall be designated for handicap accessible parking. Note that per Coliseum Central Design standards the following items have been added to the concept plan;

A decorative crosswalk across the parking area that connects the proposed sidewalk from the Marcella Road sidewalk to the main entry of the hotel building.

The sidewalk along Hartford Road

A sidewalk along the south side of the building to connect with the sidewalk on Hartford Road.

Decorative Pavement (stamped concrete), artificial turf, landscaping and seating in the courtyard.

Dumpster enclosure will be of durable materials and will incorporate the architectural features and materials from the primary building on site.

Note that building elevations (see attached) show parapets at 6 feet tall that will be sufficient to meet the screening required for any split units placed on the roof.

## THE BRAND-

stayAPT Suites is a new apartment-style hotel brand. Every stayAPT Suite's guest room is a spacious suite with modern, high-quality finishes throughout. The all-suite hotel experience is distinguished by a dedicated living room, full-size kitchen, and a separate bedroom. For today's traveler, the stayAPT Suite's experience is a "sweet spot" between the comforts of an apartment and seamless ease of a hotel stay.

stayAPT Suites guests include leisure travelers, traveling professionals, healthcare providers, government/military personnel, and relocating families who want an upgraded experience with more space than a traditional hotel. These guests and their families serve and enhance our hospitals, military bases, neighborhoods, and businesses.

Each stayAPT Suite's guest room includes an open-concept living room with a sleeper sofa, lounge chair, and a wall-mounted smart 55-inch television. The full-size kitchens feature full-size appliances, including a four-burner stove, oven, dishwasher, microwave, and refrigerator. The private, separate bedroom, located down the hall

**401 Chatham Square Office Park Suite B  
Fredericksburg, VA 22405  
540-371-7197**

# COLISEUM CENTRAL HOSPITALITY, LLC

from the living area, offers a king or two queen-sized beds, a walk-in closet, a spacious desk, and a second large, wall-mounted smart television. Outside of the suites, guests can enjoy other on-property amenities, including a secure outdoor courtyard with built-in grill station, firepit and soft seating, onsite guest laundry facilities, and a fitness center.

Offering nightly, weekly, and monthly rates, the brand provides an unmatched hotel experience with a spacious, residential feel. StayAPT Suites will have approximately 30 hotels open by the end of 2023, with an additional 40+ in development.

## OWNERSHIP & MANAGEMENT

Coliseum Central Hospitality, LLC (CCH, LLC) will own the hotel and it will be managed by FRC Hospitality, which is wholly owned by John McConnell one of the principal owners of CCH, LLC. The principals are John McConnell and Bill Johnson. Both have extensive experience in commercial real estate development. Mr. McConnell and Mr. Johnson will develop this project on behalf of Coliseum Central Hospitality.

Bill Johnson is President of Johnson Commercial Real Estate, Inc. He has been in the real estate business 45+ years. The first 15 years he was a real estate agent and commercial MAI appraiser. Mr. Johnson has spent the last 30 years as a real estate developer. During that time he has developed residential subdivisions, retail shopping centers, warehouses, hotels, medical and standard office buildings. His company currently owns and manages more than 300,000/SF of various commercial real estate. Mr. Johnson's successful career in real estate development brings a wealth of knowledge to the development of this project.

John McConnell, is President and Founder of FRC Hospitality—  
Mr McConnell is a successful hotel franchiser for more than 17 years. To date, he has co-owned and developed four (4) Affordable Suites of America facilities and (2) Stay APT Suites franchises. He functions as the Project Manager for construction and Operating Manager for each of the franchise companies, including site selection and acquisition. In 2005, he developed the ASA facility located in South Stafford (Fredericksburg). Opened in 2006, John is currently the Managing Partner of this location. In 2006, he developed the ASA in Greenville, NC, which opened in April of 2007. That same year, he developed the Jacksonville, NC ASA location, home to the Marine Corp Base Camp Lejeune. Following the success of the two facilities in North Carolina, he focused in 2011 on development of the ASA project in Quantico, VA home to Marine Corp Base Quantico. in 2018 he oversaw the construction of a 24 suite addition to this property and remains Managing Partner for it.

**401 Chatham Square Office Park Suite B  
Fredericksburg, VA 22405  
540-371-7197**

# COLISEUM CENTRAL HOSPITALITY, LLC

In 2019 John began development of the new extended stay brand called Stay APT Suites, this property opened in October of 2020 in Alexandria VA near Ft. Belvoir Army Base and has reached stabilization. Most recently he is developing and overseeing construction on an 86 unit Stay Apt Suites in the Harbour View area of Suffolk, VA which is scheduled to open in the 3<sup>rd</sup> quarter of 2024.

Mr. McConnell's strategic insight, comprehensive understanding of business management, attention to detail, and propensity to successfully generate bottom line profits creates a solid foundation for the success of the franchises under his direction.

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This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.  
 Drawing name: K:\VAB\_Civil\MARKETING\Hampton Harbor View Hospitality\Cadd\CJP\CJP-Concept-4.dwg COLOR CJP Oct 10, 2023 9:22am



**OWNER:**

FISCELLA AND FISCELLA LLC  
 C/O PAUL A. FISCELLA

**DEVELOPER:**

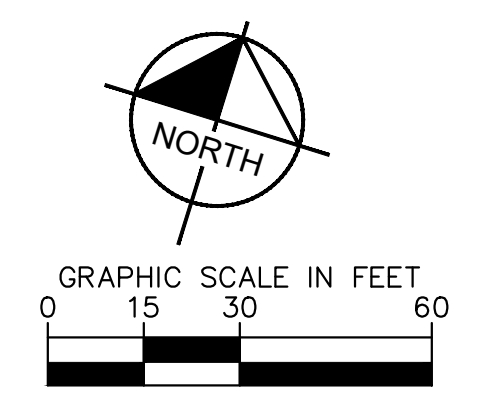
COLISEUM CENTRAL HOSPITALITY, LLC  
 401 CHATHAM SQUARE OFFICE PARK  
 FREDERICKSBURG, VA 22405  
 TEL: (540) 604-4288  
 CONTACT: JOHN MCCONNELL

**ENGINEER:**

KIMLEY-HORN AND ASSOCIATES, INC.  
 4525 MAIN STREET  
 SUITE 1000  
 VIRGINIA BEACH, VA 23462  
 TEL: (757) 213-8600  
 CONTACT: DAVID DALLMAN, P.E.

**SITE STATISTICAL INFORMATION**

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SIDE BUILDING SETBACK	19'
REAR BUILDING SETBACK	19'
12. FRONT PARKING SETBACK	15'
SIDE PARKING SETBACK	10'
REAR PARKING SETBACK	10'
13. SITE GREEN SPACE REQUIRED (SF) AT 10% PF SITE AREA	11,646 SF REQUIRED      41,000 SF± PROVIDED (35.2%)





**NOTE TO DESIGNER:**  
 THESE DOCUMENTS ARE NOT FOR PERMIT NOR CONSTRUCTION AND MUST BE COMPLETE AND/OR MODIFIED BY A LICENSED ARCHITECT AND ENGINEER TO CONFORM TO ALL LOCAL AND APPLICABLE CODES AND SPECIFIC SITE CONDITIONS. THERE IS NO WARRANTY, WHETHER IMPLIED OR EXPRESSED, THAT THESE DOCUMENTS MEET THE APPLICABLE CODE REQUIREMENTS. LIABILITY FOR THE DESIGN AND ANY USE OF DOCUMENTS IS THE SOLE RESPONSIBILITY OF THE ARCHITECT AND ENGINEER OF RECORD.

**NOT FOR CONSTRUCTION**

ISSUANCE SCHEDULE  
 DESCRIPTION  
 DATE  
 NUMBER

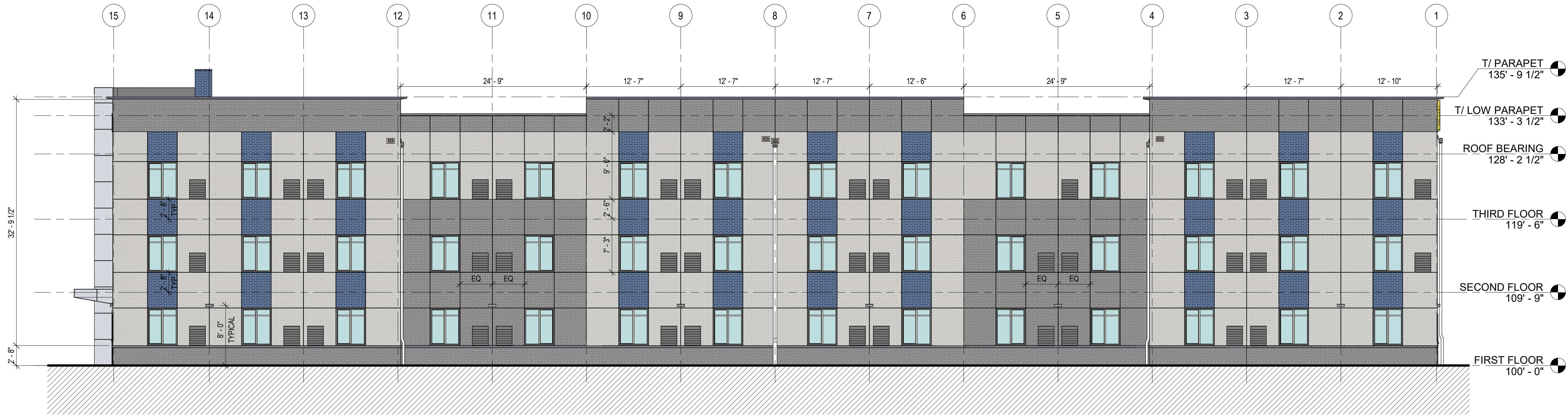
**stayAPT SUITES**  
 3 STORY, 88 SUITES  
 HAMPTON, VA

PROJECT NO:  
 DATE ISSUED: 10/12/2023  
 DESIGNED BY: J. BOUGES  
 DRAWN BY: J. BOUGES  
 CHECKED BY: WOOLPERT

SHEET NAME:  
 EXTERIOR BUILDING ELEVATIONS

SHEET NO:

**A-201**



**D1 WEST EXTERIOR ELEVATION**  
 1/8" = 1'-0"



**A1 NORTH EXTERIOR ELEVATION**  
 1/8" = 1'-0"

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 3 STORY, 88 SUITES  
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 DRAWN BY: J. BOUGES  
 CHECKED BY: WOOLPERT

**SHEET NAME:**  
 EXTERIOR BUILDING ELEVATIONS

**SHEET NO:**

**A-202**



**D1 EAST EXTERIOR ELEVATION**  
 1/8" = 1'-0"



**A1 SOUTH EXTERIOR ELEVATION**  
 1/8" = 1'-0"

10/12/2023 3:21:00 PM  
 Autodesk Docs://StayAPT Suites - Hub/stayAPT\_Hampton\_Arch\_R02.rvt



**GENERAL SHEET NOTES:**

- BAYS BETWEEN GRIDLINES 13 AND 10 REMAIN UNCHANGED IN DEPTH DUE TO ADA REQUIREMENTS
- SHORTER DOUBLE QUEEN SUITES RENAMED TO QQ-MOD-2 TO DELINEATE BETWEEN OLD AND NEW LAYOUTS.
- KING SUITES SHORTENED BY 15.25" OVERALL.
- MANAGER'S SUITE AND DOUBLE QUEEN SUITES SHORTENED BY 24.25" OVERALL.
- K-MOD UNITS AND ACCESSIBLE SUITES REMAIN UNCHANGED.

**BUILDING INFORMATION:**

SQUARE FOOTAGE COMPARED		
SPACE	ORIGINAL SF	NEW SF
<b>FIRST FLOOR</b>		
CONDITIONED	15348	14506 SF
COURTYARD	3143	3143 SF
EGRESS WALKWAY	2141	2142 SF
<b>SECOND FLOOR</b>		
CONDITIONED	15123	14288 SF
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GRAND TOTAL	72689 SF	69343 SF
TOTAL DIFFERENCE		-3346 SF

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GUESTROOM DATA										
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THIRD	0	14	4	1	0	3	4	1	0	27
FOURTH	0	14	4	0	0	4	4	1	0	27
TOTAL	1	56	13	2	1	12	14	3	1	103
PERCENTAGE	1%	54%	13%	2%	1%	12%	13%	1%	3%	100%

**PROTOTYPE NOT FOR CONSTRUCTION**

ISSUANCE SCHEDULE  
 DESCRIPTION  
 DATE  
 NUMBER

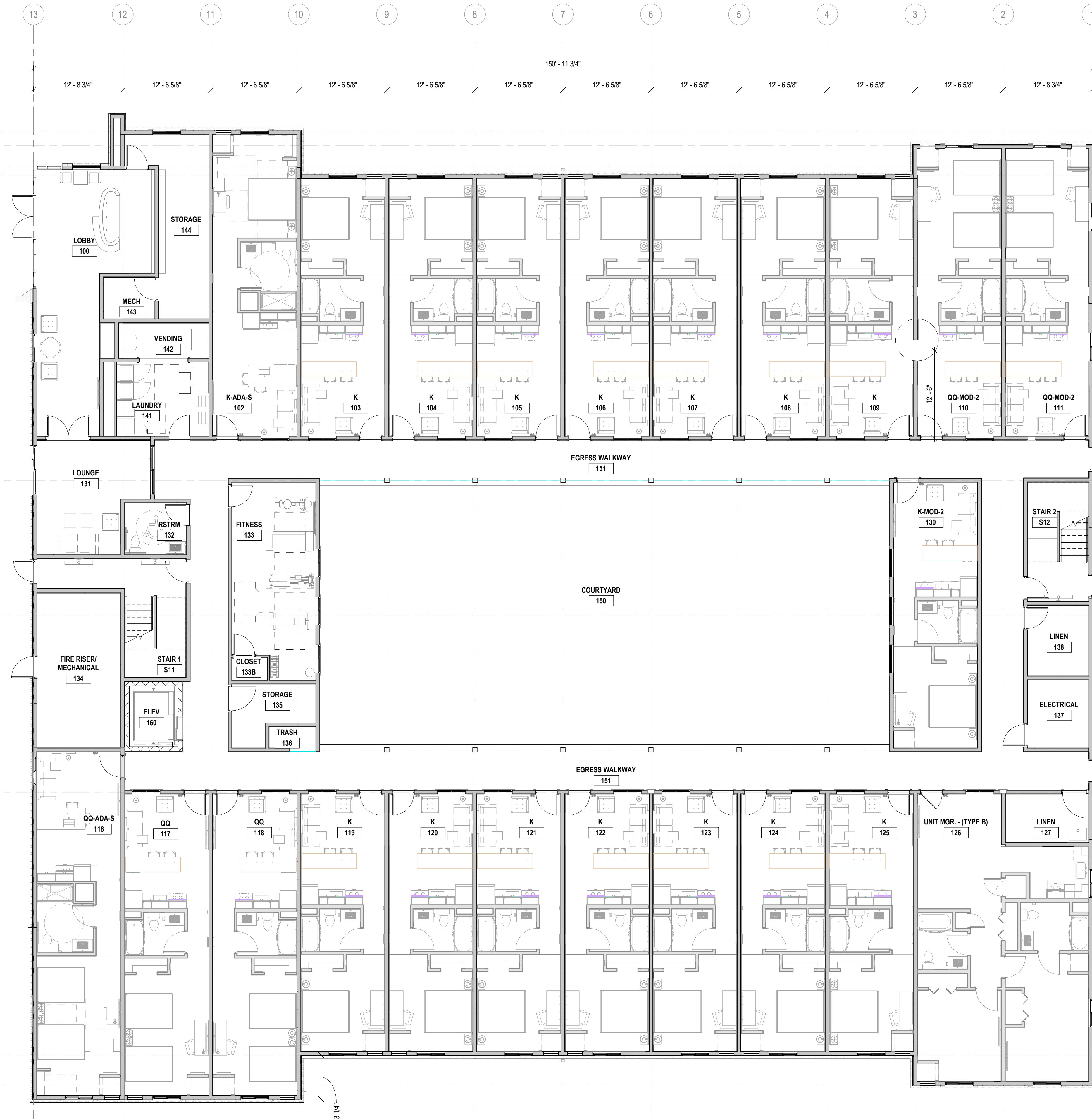
CLIENT NAME  
**stayAPT SUITES**  
 4-STORY, 103 SUITES  
 PROTOTYPE  
 PROJECT ADDRESS

PROJECT NO:  
 DATE ISSUED:  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:

SHEET NAME:  
 FIRST FLOOR PLAN - PRESENTATION

SHEET NO:

**A101**



**A1 FIRST FLOOR PLAN**  
 1/8" = 1'-0"

**GENERAL SHEET NOTES:**

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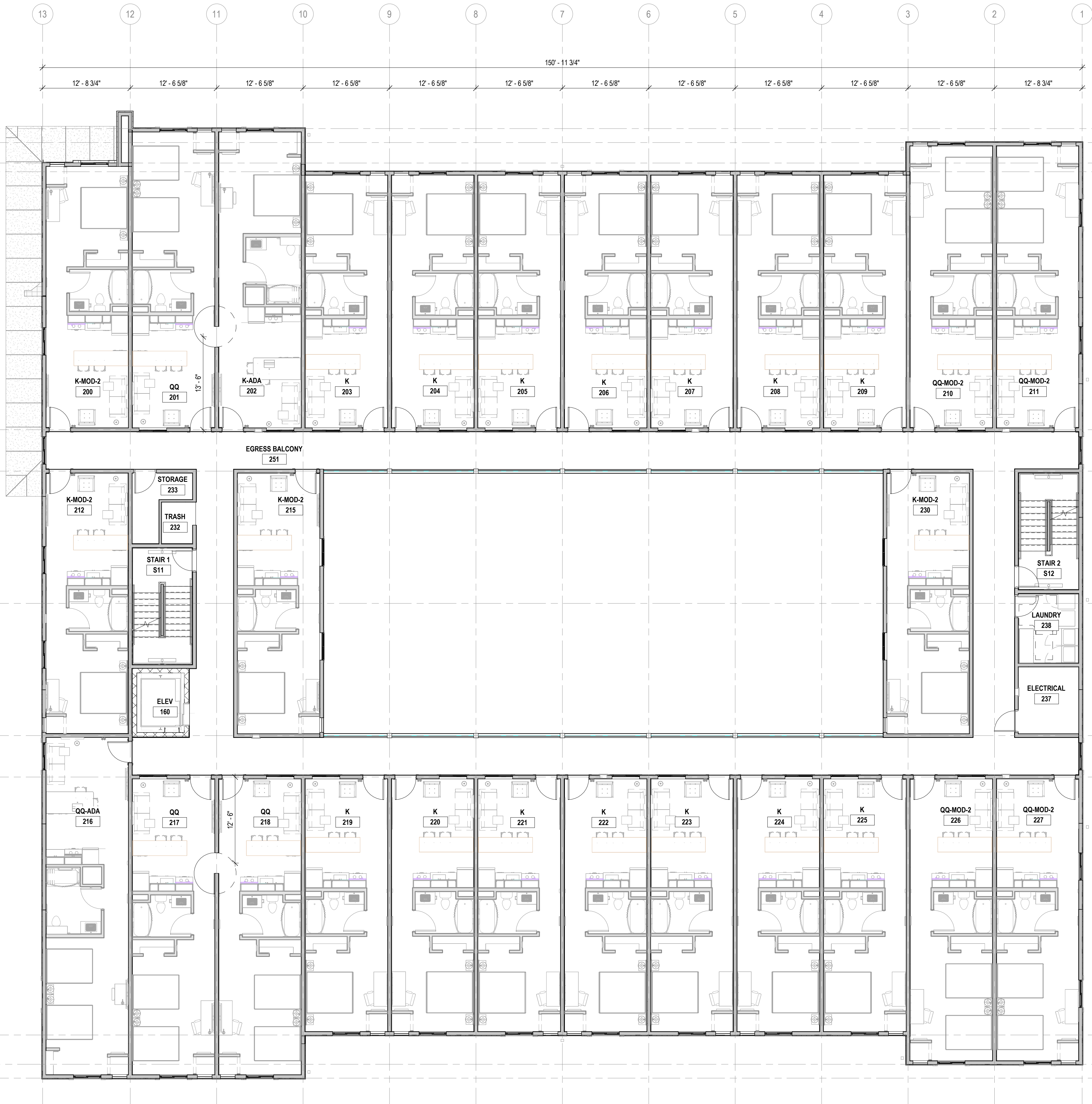
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 4-STORY, 103 SUITES  
 PROTOTYPE  
 PROJECT ADDRESS

PROJECT NO:  
 DATE ISSUED:  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:

SHEET NAME:  
 SECOND FLOOR PLAN - PRESENTATION

SHEET NO:

**A102**



**A1 SECOND FLOOR PLAN**  
 1/8" = 1'-0"



**GENERAL SHEET NOTES:**

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EGRESS BALCONY	2227	2227 SF
<b>THIRD FLOOR</b>		
CONDITIONED	15126	14291 SF
EGRESS BALCONY	2227	2227 SF
<b>FOURTH FLOOR</b>		
CONDITIONED	15127	14291 SF
EGRESS BALCONY	2227	2227 SF
GRAND TOTAL	72689 SF	69343 SF
TOTAL DIFFERENCE		-3346 SF

**NOTE TO DESIGNER:**  
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GUESTROOM DATA										
	MGR. (UNIT M)	UNIT K	UNIT K (MOD 2)	UNIT K-ADA	UNIT K-ADA-S	UNIT QQ	UNIT QQ (MOD 2)	UNIT QQ-ADA	UNIT QQ-ADA-S	TOTAL
FIRST	1	14	1	0	1	2	2	0	1	22
SECOND	0	14	4	1	0	3	4	1	0	27
THIRD	0	14	4	1	0	3	4	1	0	27
FOURTH	0	14	4	0	0	4	4	1	0	27
TOTAL	1	56	13	2	1	12	14	3	1	103
PERCENTAGE	1%	54%	13%	2%	1%	12%	13%	1%	3%	100%

**PROTOTYPE NOT FOR CONSTRUCTION**

ISSUANCE SCHEDULE  
 DESCRIPTION  
 DATE  
 NUMBER

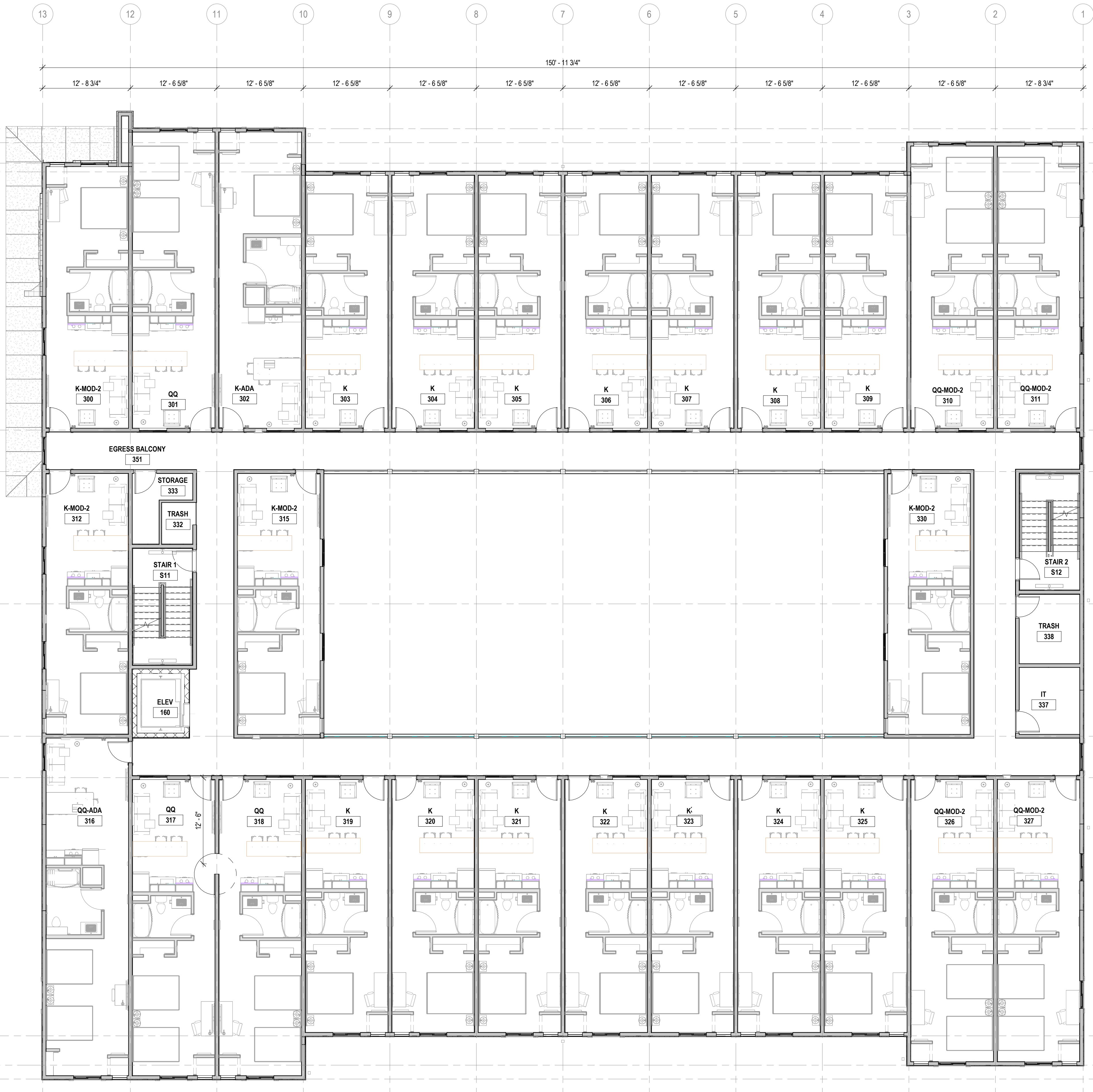
CLIENT NAME  
**stayAPT SUITES**  
 4-STORY, 103 SUITES  
 PROTOTYPE  
 PROJECT ADDRESS

PROJECT NO:  
 DATE ISSUED:  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:

SHEET NAME:  
 THIRD FLOOR PLAN - PRESENTATION

SHEET NO:

**A103**



**A1 THIRD FLOOR PLAN**  
 1/8" = 1'-0"

**GENERAL SHEET NOTES:**

- BAYS BETWEEN GRIDLINES 13 AND 10 REMAIN UNCHANGED IN DEPTH DUE TO ADA REQUIREMENTS
- SHORTER DOUBLE QUEEN SUITES RENAMED TO QQ-MOD-2 TO DELINEATE BETWEEN OLD AND NEW LAYOUTS.
- KING SUITES SHORTENED BY 15.25" OVERALL.
- MANAGER'S SUITE AND DOUBLE QUEEN SUITES SHORTENED BY 24.25" OVERALL.
- K-MOD UNITS AND ACCESSIBLE SUITES REMAIN UNCHANGED.

**BUILDING INFORMATION:**

SQUARE FOOTAGE COMPARED		
SPACE	ORIGINAL SF	NEW SF
<b>FIRST FLOOR</b>		
CONDITIONED	15348	14506 SF
COURTYARD	3143	3143 SF
EGRESS WALKWAY	2141	2142 SF
<b>SECOND FLOOR</b>		
CONDITIONED	15123	14288 SF
EGRESS BALCONY	2227	2227 SF
<b>THIRD FLOOR</b>		
CONDITIONED	15126	14291 SF
EGRESS BALCONY	2227	2227 SF
<b>FOURTH FLOOR</b>		
CONDITIONED	15127	14291 SF
EGRESS BALCONY	2227	2227 SF
GRAND TOTAL	72689 SF	69343 SF
TOTAL DIFFERENCE		-3346 SF

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GUESTROOM DATA										
	MGR. (UNIT M)	UNIT K	UNIT K (MOD 2)	UNIT K-ADA	UNIT K-ADA-S	UNIT QQ	UNIT QQ (MOD 2)	UNIT QQ-ADA	UNIT QQ-ADA-S	TOTAL
FIRST	1	14	1	0	1	2	2	0	1	22
SECOND	0	14	4	1	0	3	4	1	0	27
THIRD	0	14	4	1	0	3	4	1	0	27
FOURTH	0	14	4	0	0	4	4	1	0	27
TOTAL	1	56	13	2	1	12	14	3	1	103
PERCENTAGE	1%	54%	13%	2%	1%	12%	13%	1%	3%	100%

**PROTOTYPE NOT FOR CONSTRUCTION**

ISSUANCE SCHEDULE  
 DESCRIPTION  
 DATE  
 NUMBER

CLIENT NAME  
**stayAPT SUITES**  
 4-STORY, 103 SUITES  
 PROTOTYPE  
 PROJECT ADDRESS

PROJECT NO:  
 DATE ISSUED:  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:

SHEET NAME:  
 FOURTH FLOOR PLAN - PRESENTATION

SHEET NO:

**A104**



**A1** FOURTH FLOOR PLAN  
 1/8" = 1'-0"



**GENERAL SHEET NOTES:**

- ALL ROOF SURFACES TO BE 1/4" VERTICAL PER 1'-0" HORIZONTAL MINIMUM, U.N.O.
- PROVIDE ALL CRICKETS, SADDLES, FLASHING AND RELATED COMPONENTS AS REQUIRED TO PREVENT PONDING AND CREATE A COMPLETE ROOFING SYSTEM.
- PROVIDE CRICKETS AT ROOF CURBS AND/OR EQUIPMENT WHERE REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
- ALL ROOFTOP MECHANICAL, ELECTRICAL AND/OR PLUMBING EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO MEP DOCUMENTS FOR SPECIFIC DESIGN INFO.
- REFER TO STRUCTURAL DRAWINGS FOR ROOF PENETRATIONS AND FRAMING REQUIREMENTS IN ROOFS. VERIFY LOCATIONS, SIZES & TYPES REQUIRED BY MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- REFER TO LIGHTNING PROTECTION DRAWINGS FOR AIR TERMINAL DEVICES ON ROOF AND PARAPETS.
- ROOF ASSEMBLY TO BE 60 MIL TPO FULLY ADHERED ROOFING MEMBRANE OVER 1/2" GLASS MAT COVER BOARD OVER R-30 RIGID INSULATION, CLASS A MATERIAL, RIGID POLYISOCYANURATE INSULATION BEARING UL MARK.
- REFER TO SHEET A-511 THROUGH A-513 FOR TYPICAL ROOF DETAILS AND EQUIPMENT CURB DETAILS.

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**PROTOTYPE  
 NOT FOR  
 CONSTRUCTION**

**LEGEND:**

- DS 4" W x 4" D ALUMINUM DOWNSPOUT
- DIRECTION OF ROOF SLOPE TO ROOF DRAIN. NEW ROOF SLOPES INDICATED.
- ⊕ VTR VENT THRU ROOF, REFER TO PLUMBING DETAIL D6/P-502
- ⊔ RH 60"x48" ROOF HATCH
- MS OUTDOOR MINI SPLIT, REFER TO MECHANICAL DRAWINGS
- HP OUTDOOR HEAT PUMP, REFER TO MECHANICAL DRAWINGS
- ▨ TPO WALK PADS
- ▩ TAPERED INSULATION CRICKET, SLOPE AT 1/2" PER 1'-0" TYPICAL MINIMUM, U.N.O.

**NOTE TO DESIGNER:**

UPDATE DRAINAGE CALCULATIONS FORMULA SECTION PER PROJECT

**ROOF DRAINAGE CALCULATION**

ROOF SLOPE: 1/4" PER FOOT  
 ROOF AREA: 17,050 SQ. FT.  
 LARGEST CATCHMENT AREA: 1,413 SQ. FT. FOR 1 VERTICAL LEADER

HORIZONTAL GUTTERS AND VERTICAL LEADERS CALCULATED BASED ON LARGEST COLLECTION ZONE. ALL OTHER COLLECTION ZONES WILL HAVE SIMILAR SIZED DRAINAGE COMPONENTS AND WILL MORE THAN ADEQUATELY SUPPORT THE STORM DRAINAGE IN THIS AREA.

RAIN DATA FOR (CITY, STATE) (BASED ON 100 YEAR RAINFALL FROM THE IPC 2015)

100 YEAR STORMS:  
 RAINFALL IN 1 HOUR: [XX] INCHES

CALCULATIONS FOR DRAINAGE AT LARGEST CATCHMENT AREA:  
 1,413 SQ. FT. = 203,606 SQ. IN.  
 1 CU. IN./HR. = .000072 GAL./MIN.

203,606 SQ. IN. X [XX] IN./MIN. = [XXXX] CU. IN./MIN.  
 [XXX] CU. IN./MIN. X .000072 GAL./MIN. = [XXXX] GAL./MIN. (GPM)

PER TABLE 1106.3 OF IPC 2015, A 4" X 4" LEADER CAN SUPPORT 192 GPM.

NUMBER	DATE	ISSUANCE SCHEDULE	DESCRIPTION
1	06/11	PROTOTYPE	REVISION 1

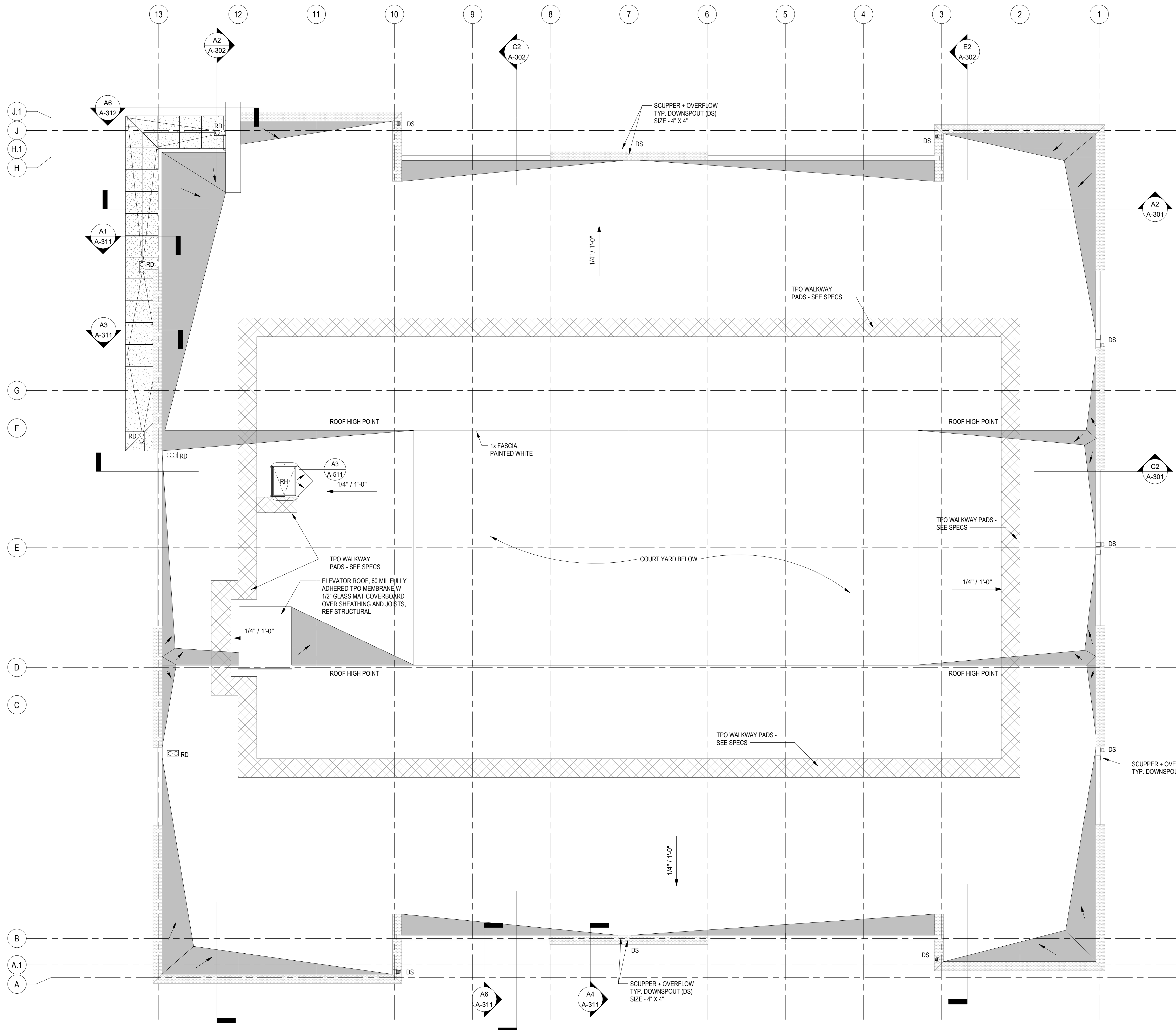
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**stayAPT SUITES**  
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 PROTOTYPE  
 PROJECT ADDRESS

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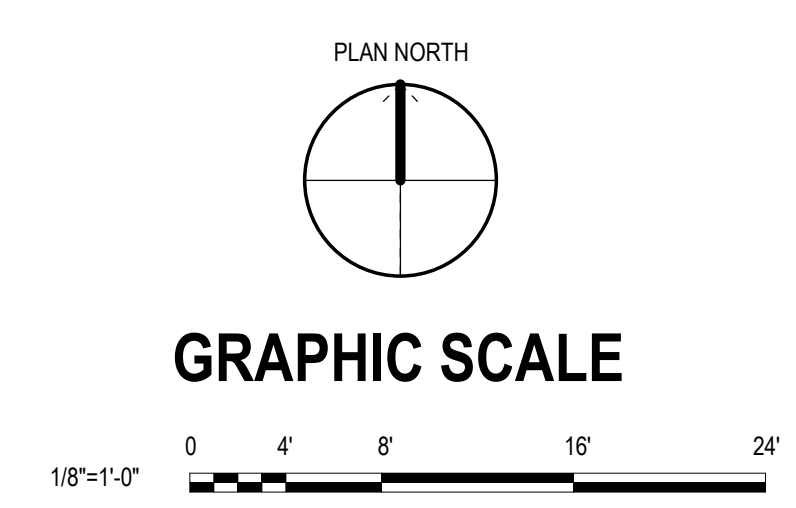
SHEET NAME:  
 ROOF PLAN

SHEET NO:

**A-121**



**A1 ROOF PLAN**  
 1/8" = 1'-0"







## stayAPT Suites



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# What is stayAPT Suites?

## Apartment-Style Hotel

An all-suite hotel experience which has disrupted the lodging segment with a truly unique stay for business, relocation, and leisure travelers nationwide.

For today's modern traveler, the stayAPT Suite's experience is a "sweet spot" between the comforts of an apartment and ease of a hotel stay.

## Purposeful Design

500+ square foot suites with dedicated living room, kitchen, and separate bedroom. Each suite has an open concept living room with a sleeper sofa, lounge chair, and 55-inch Smart TV.

Each kitchen is fully equipped featuring full size appliances and a large center island.

Separate from the main living area, the spacious bedroom includes a King or Double Queen bed, a second large Smart TV, a large work area, and walk-in closet.



# Not Your Typical Extended Stay Hotel Clientele

---

stayAPT is a superior product to classic economy extended stay product that is purposely designed to target customer segments that appreciate the additional space, amenities, peaceful environment, and are willing to pay higher rates.

**An Average stayAPT Daily Rate of ~\$90-100+  
= ~\$2,700+ taxes, per Month**

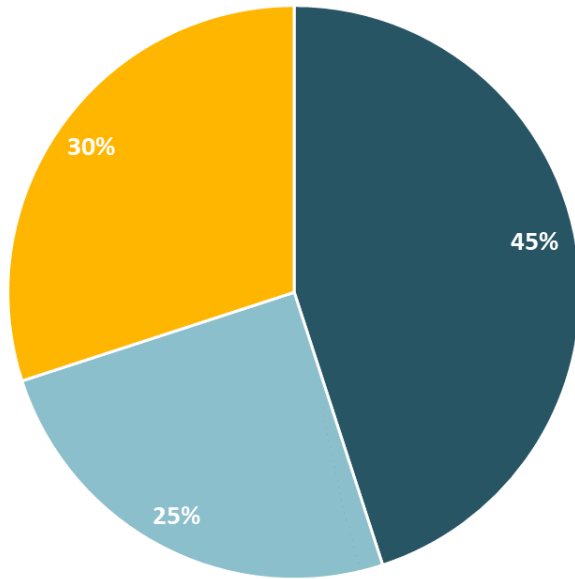
The average daily rate for stayAPT is ~54% more than the average monthly mortgage payment in the US.

stayAPT monthly guests are predominately employed travelling professionals as opposed to people who are searching for low-income housing.

**Brand wide Reputation Score of 4.5/5.0\***

*\*Reputation sources include: Expedia, Google, Airbnb, and Booking.com*

# stayAPT Suites – Reservation Breakdown



■ Nightly ■ Weekly ■ Monthly

## Brand Wide - Length of Stay Averages:

**Nightly Reservations:** Avg. 2-3 nights

**Weekly Reservations:** Avg. 12-15 nights

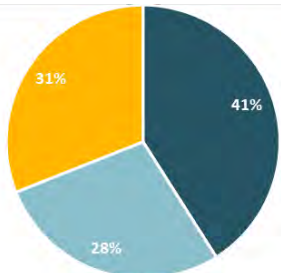
**Monthly Reservations:** Avg. 3.5 months

*\*Brand Data From April 2022 - March 2023*

## Example Stabilized Hotels

### Alexandria-Ft. Belvoir, VA

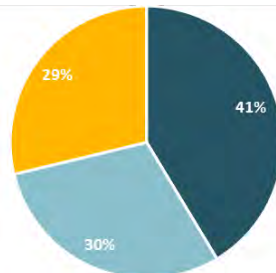
Opened: 10/23/2020



■ Nightly ■ Weekly ■ Monthly

### Raleigh-Durham/RTP, NC

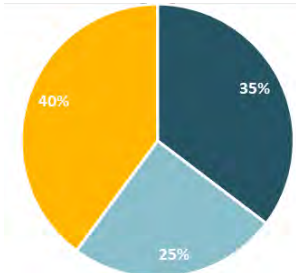
Opened: 04/30/2021



■ Nightly ■ Weekly ■ Monthly

### Greenville-Haywood Mall, SC

Opened: 11/09/2021



■ Nightly ■ Weekly ■ Monthly

# Market Competitive Set

**Product Comparable to stayAPT :**

WaterWalk

**Primary Competitors:**

Home2 Suites by Hilton

Townplace Suites by Marriott

Candlewood Suites

**Higher Rated Competitors:**

Homewood Suites

Residence Inn

Staybridge Suites

When stayAPT enters a market, we shift market share from these brands, targeting customers who enjoy a better room and aren't interested in paying more for the services they don't utilize.





# Target Customers

stayAPT caters specifically to customers seeking apartment style accommodations for professional or personal reasons. Each hotel offers flexible rates depending on length of stay to best fit the needs of all guests



## Business & Project Travel

A typical hotel room is fine for a night or two of business travel. But if you want to perform at your peak, you need space, organization, and separation between living, eating, and sleeping areas. With stayAPT Suites, you have the room to spread out, relax, recharge, and be your most effective self.



## Relocation

Whether moving across town or to a new city, stayAPT Suites is the perfect place to call your temporary home. With stayAPT Suites, you have the comforts you're used to, like separate living, dining, and sleeping areas in every room. And with a fitness room, on-site laundry, and a secure courtyard, you won't have to sacrifice your lifestyle while in transition.



## Leisure Trips

Whether you're exploring a new location or just spending some time living closer to family and friends, stayAPT Suites is the perfect place for any length of stay. We even have pet-friendly rooms for those guests who never leave home without their four-legged friends.



## Military/Government Personnel

Whether you're transferring to a new post or enrolled in an extended training course, stayAPT Suites is the perfect place to set up your "home base." With separate living, dining, and sleeping quarters in every room, an on-site laundry room, and a courtyard for relaxing, socializing, and grilling out, stayAPT Suites will keep you operating in peak condition.



## Medical Personnel

If you are a traveling nurse, doctor, or other medical professional, you need a place to recharge at the end of your busy shift or training session. With stayAPT Suites, you can enjoy the comforts of home while away from home, and meet the challenges of your next day fully refreshed.

## **The stayAPT Suites Difference – Hotel Tour**

---

# stayAPT Suite – Living Room

## Comfortable Living Room

As you enter your suite an open concept living room welcomes you. Each living room features a sleeper sofa, lounge chair, 55-inch smart TV with a premium entertainment package and a window overlooking the outdoor courtyard to provide natural light.

stayAPT Suite’s design aesthetic, size and functionality was modeled after a modern furnished apartment.

Typical extended-stay brands do not include separate living rooms. Most often those type of hotels provide a single recliner that is located right next to the bed.



## Full-Size Kitchen

The full size, eat-in kitchen features bright lighting as well as a four-burner stove, oven, dishwasher, microwave and refrigerator. The large center island provides plenty of space for meal prep and is utilized as a place to eat or enjoy your morning coffee.

Kitchen size and amenities are similar to those found in apartments and within the corporate housing segment.

Extended-stay brands offer small efficiency kitchens with a 2-burner stove top, usually placed to the side or end of the bed.





# stayAPT Suite – Bedroom

## Separate Bedroom

The separate bedroom can be found down the hall from the living and kitchen areas. Each bedroom features a King or Double Queen beds, a spacious workspace, second large smart TV and a walk-in closet. A second window provides natural light in the bedroom.

A separate bedroom is seldom found in extended-stay brands. Their offering typically consists of a single room, essentially a bedroom with a recliner to the side of the bed and an efficiency kitchenette at the end of the bed. A small desk is also the dining area, usually positioned next to an open cubby for hanging clothes.





# stayAPT Suite – Interior Courtyard

## Interior, Open-Air Courtyard

Secure, open-air space within the hotel’s structure that provides maximum privacy. The courtyard features natural greenery, soft seating, built-in grill station and a firepit – a welcoming spot to relax.

Only accessible to stayAPT Suites guests. Quiet hours are enforced between 9pm-7am, 7 days a week. Large gatherings, music, pets and lawn games are prohibited.

Extended stay brands offer an outdoor area with a picnic table usually adjacent to the parking lot. Their guests tend to congregate outside in that area, which is generally unsupervised and without rules.





stay  
apt<sup>TM</sup>  
SUITES

# Hotel (310)

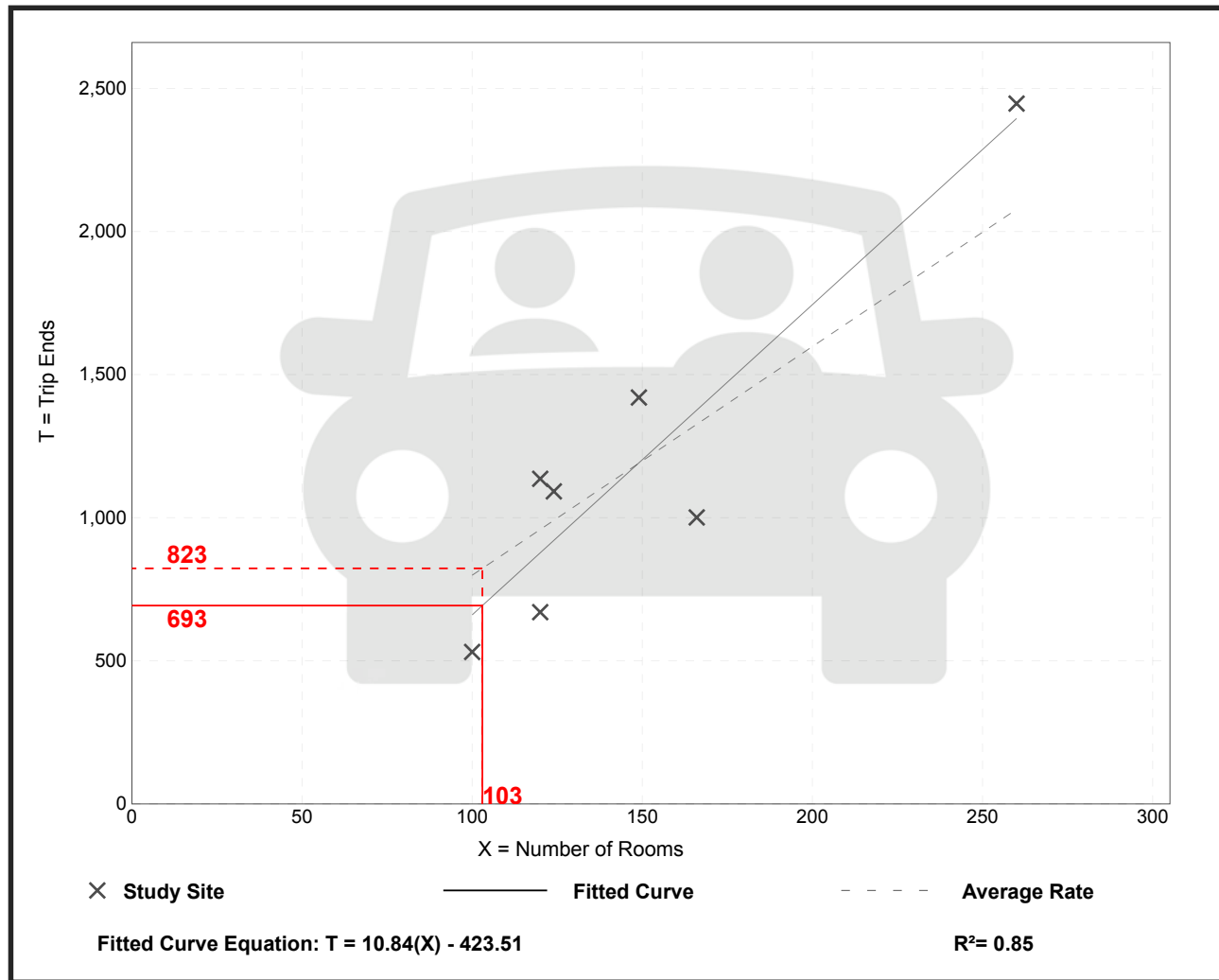
**Vehicle Trip Ends vs: Rooms**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 7  
Avg. Num. of Rooms: 148  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
7.99	5.31 - 9.53	1.92

## Data Plot and Equation



# Hotel (310)

**Vehicle Trip Ends vs: Rooms**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

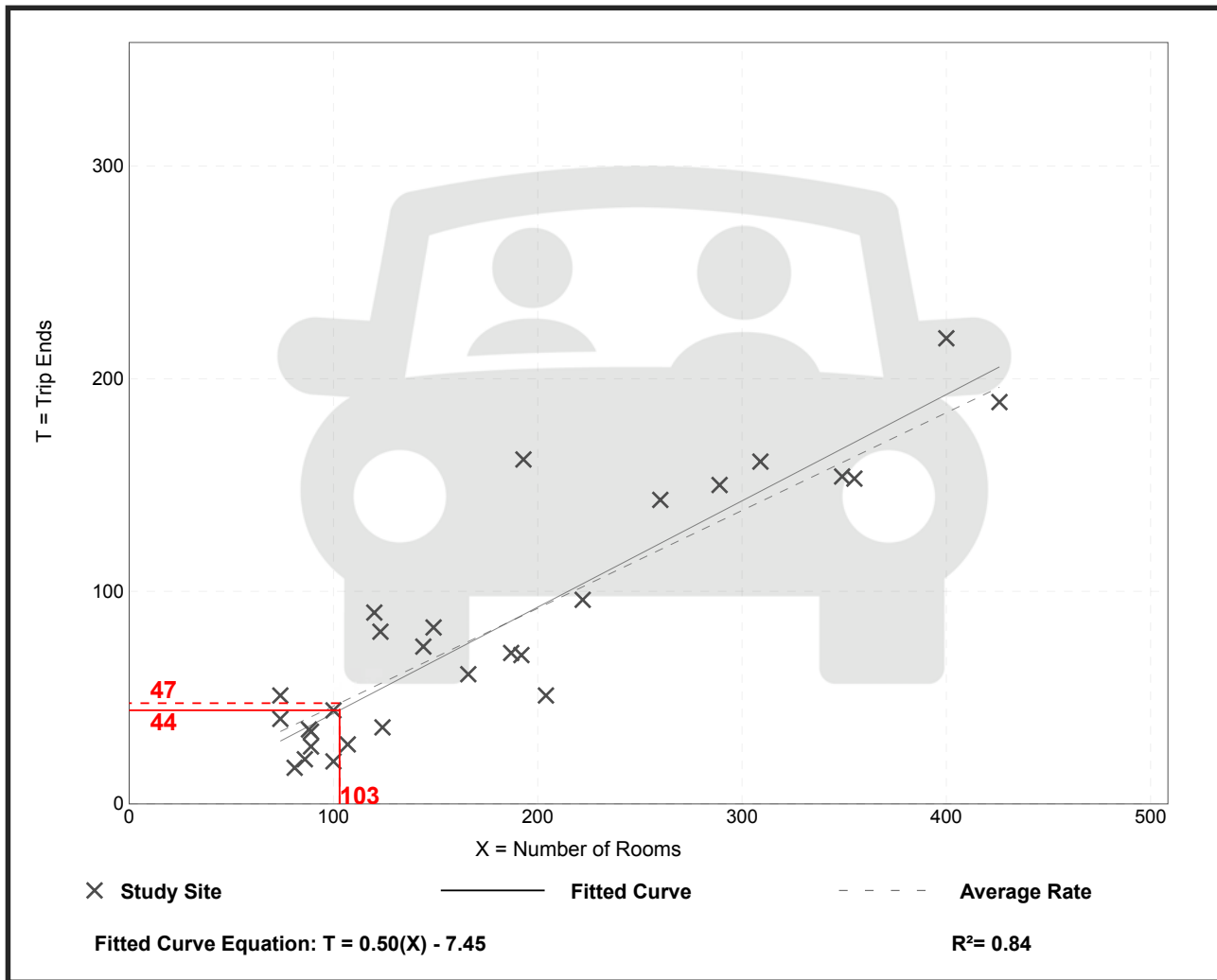
**Setting/Location: General Urban/Suburban**

Number of Studies: 28  
 Avg. Num. of Rooms: 182  
 Directional Distribution: 56% entering, 44% exiting

## Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
0.46	0.20 - 0.84	0.14

## Data Plot and Equation





# Hotel (310)

**Vehicle Trip Ends vs: Rooms**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 31  
 Avg. Num. of Rooms: 186  
 Directional Distribution: 51% entering, 49% exiting

## Vehicle Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
0.59	0.26 - 1.06	0.22

## Data Plot and Equation

