



Application for Rezoning

OFFICE USE ONLY
Date Received:

JANUARY 2, 2026

Complete this application in its entirety and submit pages 4 and 5 along with the required materials (including any required supplements) as listed on page 2 to the address below:

City of Hampton
Community Development Department, Planning Division
22 Lincoln Street, 5th Floor
Hampton, Virginia 23669

Case Number: RZ **26 - 0095**

1. PROPERTY INFORMATION

Address or Location 1, 2, 3, 6, 7, 10, 11, 14, 15, 18, 19, 22, 23, 26, 27, 30, 31, 33, 35, 39 & 43 Sargeant Street and 1, 2, 3, 5, 7, 9, 10, 14, 17, 18, 21, 22, 24, 25, 26, 29, 30, 33, 34, 37, 38, 39, 41, 43, 45 & 49 Lawrence Avenue

LRSN See attached list. Current Zoning District R-11 Proposed Zoning District R-4 & MD-4

Current Land Use Vacant Land and Single-Family Homes

Proposed Land Use Multifamily

The proposed use will be in: an existing building a new addition a new building

2. PROPERTY OWNER INFORMATION (an individual or a legal entity may be listed as owner)

Owner's Name Hampton Redevelopment and Housing Authority** (See attached list for additional Owner information.)

Address 1 S. Armistead Avenue City Hampton State VA Zip 23669

Phone 757-727-1111 Email amaat@hamptonrha.com

3. APPLICANT INFORMATION (if different from owner)

Applicant's Name North Mallory Quay LLC

Address P.O. Box 8368 City Virginia Beach State VA Zip 23450

Phone 757-515-9656 Email wking@arlanddev.com

4. APPLICANT AGENT INFORMATION (if different from applicant)

Agent's Name Lisa M. Murphy c/o Willcox & Savage, P.C.

Address 440 Monticello Avenue, Suite 2200 City Norfolk State VA Zip 23510

Phone 757-628-5540 Email lmurphy@wilsav.com

5. CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the property owner is **not** an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. as specified in Step 2 above.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity North Mallory Quay LLC

Signed by:

Name (printed) Alan S. Resh, Its (title) Manager

Signature [Handwritten Signature] Date 10-27-2025

Name (printed) _____, Its (title) _____

Signature _____ Date _____

Name (printed) _____, Its (title) _____

Signature _____ Date _____

6. CERTIFICATION FOR INDIVIDUAL PROPERTY OWNERS

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OFFICE USE ONLY

Application Form

Narrative Statement

Proffer Statement

Application Fee

Survey Plat

Additional materials (if required)

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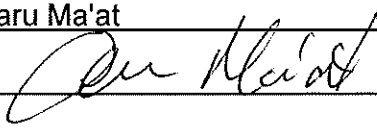
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Name of Legal Entity Hampton Redevelopment and Housing Authority

Signed by:

Name (printed) Aaru Ma'at, Its (title) Executive Director

Signature  Date _____

Name (printed) _____, Its (title) _____

Signature _____ Date _____

Name (printed) _____, Its (title) _____

Signature _____ Date _____

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Signature _____ Date _____

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Signature _____ Date _____

<small>OFFICE USE ONLY</small>		
<input type="checkbox"/> Application Form	<input type="checkbox"/> Narrative Statement	<input type="checkbox"/> Proffer Statement
<input type="checkbox"/> Application Fee	<input type="checkbox"/> Survey Plat	<input type="checkbox"/> Additional materials (if required)

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Name of Legal Entity _____

Signed by:

Name (printed) _____, Its (title) _____

Signature _____ Date _____

Name (printed) _____, Its (title) _____

Signature _____ Date _____

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Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) William Wampler

Signature William W Wampler Date 2/25/25

Name (printed) _____

Signature _____ Date _____

<small>OFFICE USE ONLY</small>		
<input type="checkbox"/> Application Form	<input type="checkbox"/> Narrative Statement	<input type="checkbox"/> Proffer Statement
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Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) William W. Wampler

Signature William W. Wampler Date 4/28/26

Name (printed) _____

Signature _____ Date _____

OFFICE USE ONLY		
<input type="checkbox"/> Application Form	<input type="checkbox"/> Narrative Statement	<input type="checkbox"/> Proffer Statement
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Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) Thomas A. Wampler

Signature *Thomas A. Wampler* Date 4/28/26

Name (printed) Mark S. Wampler

Signature *Mark S. Wampler* Date 4/28/26

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I, Jeffrey Fitzsimmons, am signing below as an individual and to the extent of my authority as Executor in Jill Teravainen's Last Will and Testament, subject to the approval by the Hampton Commissioner of Accounts and/or other requirements applicable to the estate.

Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) JEFFREY FITZSIMMONS

Signature *Jeff Fitzsimmons* Date 5/12/2026

Name (printed) _____

Signature _____ Date _____

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Additional materials (if required)

Conditional Rezoning Application – Additional Information

LRSN	Address	Owner
12006047	1 SARGEANT ST	HRHA
12006083	2 SARGEANT ST	HRHA
12006048	3 SARGEANT ST	HRHA
12006084	6 SARGEANT ST	HRHA
12006049	7 SARGEANT ST	HRHA
12006085	10 SARGEANT ST	HRHA
12006051	11 SARGEANT ST	HRHA
12006086	14 SARGEANT ST	HRHA
12006052	15 SARGEANT ST	HRHA
12006087	18 SARGEANT ST	HRHA
12006053	19 SARGEANT ST	HRHA
12006088	22 SARGEANT ST	HRHA
12006054	23 SARGEANT ST	HRHA
12006089	26 SARGEANT ST	HRHA
12006055	27 SARGEANT ST	HRHA (outstanding interest held by Estate of Jill Teravainen)
12006090	30 SARGEANT ST	HRHA
12006057	35 SARGEANT ST	HRHA
12006058	39 SARGEANT ST	HRHA
12006059	43 SARGEANT ST	HRHA
12006067	1 LAWRENCE AVE	HRHA
12006066	2 LAWRENCE AVE	HRHA
12006068	3 LAWRENCE AVE	HRHA
12006070	9 LAWRENCE AVE	HRHA
12006091	10 LAWRENCE AVE	HRHA
12006092	14 LAWRENCE AVE	HRHA
12006072	17 LAWRENCE AVE	HRHA
12006093	18 LAWRENCE AVE	HRHA
12006074	21 LAWRENCE AVE	HRHA
12006075	25 LAWRENCE AVE	HRHA
12006096	26 LAWRENCE AVE	HRHA
12006076	29 LAWRENCE AVE	HRHA
12006097	30 LAWRENCE AVE	HRHA
12006077	33 LAWRENCE AVE	HRHA
12006098	34 LAWRENCE AVE	HRHA
12006099	38 LAWRENCE AVE	HRHA
12006081	45 LAWRENCE AVE	HRHA
12006082	49 LAWRENCE AVE	HRHA
12006080	41 (& 43) LAWRENCE AVE	NMQ, LLC
12006079	39 LAWRENCE AVE	NMQ, LLC
12006078	37 LAWRENCE AVE	NMQ, LLC
12006094	22 (& 24) LAWRENCE AVE	NMQ, LLC
12006056	31 (& 33) SARGEANT ST	Heirs of Jack Wampler
12006069	5 (& 7) LAWRENCE AVE	NMQ, LLC

**North Mallory Quay LLC
Conditional Rezoning Application**

**LRSN Number(s) 12006047, 12006083, 12006048, 12006084, 12006049, 12006085,
12006051, 12006086, 12006052, 12006087, 12006053, 12006088, 12006054, 12006089,
12006055, 12006090, 12006057, 12006058, 12006059, 12006067, 12006066, 12006068,
12006070, 12006091, 12006092, 12006072, 12006093, 12006074, 12006075, 12006096,
12006076, 12006097, 12006077, 12006098, 12006099, 12006081, 12006082, 12006069,
12006094, 12006078, 12006079, 12006056 & 12006080**

Project Narrative

Need for Rezoning & Proposed Use:

North Mallory Quay LLC (“Developer”) has entered into a Development Agreement with the Hampton Redevelopment and Housing Authority (“HRHA”) to purchase thirty-seven (37) parcels of real property located in Buckroe owned by HRHA and listed on **Exhibit A**, attached hereto (“HRHA Property”). In addition, the Developer has acquired five (5) nearby privately owned properties listed on **Exhibit B** (collectively, “Developer Properties”), and has entered into an agreement to purchase a sixth nearby property described on **Exhibit C** from Thomas A. Wampler, William W. Wampler and Mark S. Wampler, the heirs of Jack L. Wampler (collectively, “Wampler”). The HRHA Property, the Developer Properties, and the property owned by Wampler (“Wampler Property”)(collectively, the “Property”), together comprise approximately fourteen (14) contiguous acres in the Buckroe area. In order to redevelop the Property as a multi-family community with approximately forty (40) single-family detached homes and thirty-five (35) townhomes for a total unit count of seventy-five (75) units, together with related infrastructure improvements (collectively, “North Mallory Quay” or “the Project”), the Developer, HRHA and Wampler have applied to conditionally rezone the Property from R-11 to R-4 and MD-4, and to resubdivide it, all as depicted on the plan entitled “N. MALLORY SUBDIVISION, CITY OF HAMPTON, VIRGINIA, PRELIMINARY LAYOUT” dated April 14, 2026 prepared by Timmons Group (“Concept Plan”), attached hereto as **Exhibit D**. The current zoning of this Property only allows for the development of single-family residences and duplexes and would not allow for a mix of single-family homes and townhomes and would not allow for the density, lot sizes, configurations and amenities depicted on the Concept Plan. The proposed redevelopment depicted on the Concept Plan is more consistent with HRHA’s policy goals and the Buckroe Master Plan, adopted by City Council in 2005 (“Buckroe Plan”).

Residential Community:

North Mallory Quay, located along the eastern boundary line of the historic and resurgent Phoebus Section of the City, will be a thoughtfully designed, neo-traditional neighborhood that celebrates the architectural and cultural heritage of Phoebus, while introducing high-quality new housing and enhanced community connectivity. The Project name, “North Mallory Quay” reflects both its street orientation and its connection to the water — a place where land, community, Hampton’s maritime heritage, and the Chesapeake Bay’s legacy intersect.

The Project will feature thirty-five (35) townhomes designed in cohesive rows with two (2) rows facing the public streets with private alleys at the rear, and a row facing the lake, each with varied façades, reflecting traditional coastal and early 20th-century design cues, as well as forty (40) single-family detached homes, which along with the townhomes will be situated on walkable, tree-lined streets with porches, front-facing entries, and garage access oriented to preserve streetscape character. An integrated network of pedestrian-friendly lanes, greenspace, and parks wrapped around a community lake will encourage neighborhood interaction and outdoor living. A variety of materials will be used for paving within the front yards of the lots to create places of interest. Decorative sidewalks will be utilized from the front stoop of the single-family homes to the driveway or street and from the front stoop of the townhomes to the street or shared path/sidewalk. In addition, decorative pavement will be utilized throughout the neighborhood in strategic public areas.

The edge of the community lake (stormwater management feature) will be designed and planted to appear natural, including the use of native vegetation, as found within the "Native Plants for Southeast Virginia including Hampton Roads Region" guidebook, on file with the City's Community Development Department ("Native Vegetation"). Street trees will be planted and maintained around the entirety of the lake, on alternating sides of the path, so that at twenty (20) years of growth they will create a full canopy around the lake. A total of 100 street trees, including the trees around the lake, will be planted on lots within public rights-of-way. A minimum of 75% of the vegetation planted throughout the neighborhood will be Native Vegetation, the remainder will be species native to USDA Hardiness Zones 8a or 8b, which are suited for future climate change conditions. Street tree spacing will be roughly fifty (50) feet, offset along the streets, and trees will be a minimum 2-1/2" calipers in size. Enhanced landscaping improvements will be installed along Mallory Street, within an easement created by the Developer. The Developer's specific landscape design, including the identification of the Native Vegetation and other vegetation that will be utilized and the existing mature trees identified by HRHA as viable, which shall be preserved to the maximum extent practicable, will all be depicted on the landscape plan and tree preservation plan submitted with the Developer's site development plan (collectively, "Landscape Plan"). Landscape Guidelines for North Mallory Quay are attached as **Exhibit E**. As part of the conditional rezoning application and as indicated in the Proffer Statement submitted therewith, the Developer is requesting a ten (10) foot deviation from the maximum setback allowed for the townhomes in the MD-4 portion of the Project in an effort to facilitate the preservation of mature trees required under the Development Agreement. The proposed townhouse front yard setbacks along Lawrence Avenue and Sargeant Street may be increased up to ten (10) feet to a maximum of thirty (30) feet, in lieu of the twenty (20) foot maximum front yard setback set forth in ARTICLE V. - MD-4 DISTRICT-MULTIFAMILY RESIDENTIAL, Sec. 5-45 for townhouse dwellings.

Architectural Character & Design Features:

The design inspiration and color palette (as depicted on **Exhibit F**) for North Mallory Quay draw from historic Hampton and coastal Virginia vernaculars — including influences from late

Victorian, Craftsman, and early Colonial Revival Architecture. Following the Buckroe Beach Pattern Book, key design principles will include: (a) variation in façade rhythm and rooflines to avoid repetition; (b) authentic materials such as fiber-cement siding, architectural grade vinyl 0.46 inch thick, minimum, brick masonry, and standing-seam metal accents; (c) generous porches, columns, and trim details reinforcing neighborhood character; and (d) rear-loaded garages (where feasible) and limited driveway dominance on primary streets.

The Applicant is submitting architectural elevations for the proposed townhomes and single-family residences, attached hereto as **Exhibit G**. The townhome component will consist of two distinct product types: two-story townhomes with detached garages and three-story townhomes with integrated garages, each providing a minimum of 1,800 square feet of heated living area. The single-family homes will provide a minimum of 2,000 square feet of heated living area. The homes at North Mallory Quay are envisioned to serve young professional families and active adults seeking walkable, character-rich housing along Hampton’s coastal corridor. Townhomes are expected to be priced from the mid- to upper-\$300,000s, with single-family homes projected to range from the upper-\$400,000s to the mid-\$500,000s.

Air conditioning, mechanical equipment, and any trash enclosures will be screened from public view with a combination of shrubs, hedges, walls, or fences. Details regarding proposed dumpster enclosures and screening of mechanical equipment within public areas will be provided for review and approval prior to final development plan approval.

Prior to the recordation of a subdivision plat, the Developer will establish a property owner’s association (“HOA”) and will record a Declaration of Restrictive Covenants (“Declaration”), which will impose certain restrictions on the use of the Property and will impose the design standards described in this narrative. The HOA will enforce the Declaration, the restrictions and the design standards. The HOA will also maintain the lake, the walking trail, the pedestrian amenities and the private alleyways serving the townhomes in perpetuity.

New Infrastructure & Amenities:

In addition to installing a new stormwater management feature, the Developer will install new sewer and water lines, curb, gutter and sidewalks within existing platted streets. The lots at the southeastern terminus of Lawrence Avenue will be replatted to provide for entrances to the Project from North Mallory Street in two locations. The new Lawrence Avenue entrance and the existing Sargeant Street entrance. There will be a continuous trail around the stormwater management feature, meandering in design, constructed of concrete, and a minimum of five feet (5’) in width. At a minimum, pedestrian amenities will include at least one (1) dog cleanup station, one (1) trash receptacle, and one (1) bench placed on the east, west and south sides of the stormwater management feature. In addition, two (2) picnic tables with seating will be placed on the east and south sides of the stormwater management feature. Streetlights utilized throughout the neighborhood will be Carlyle Acorn fixtures on black poles as provided by Dominion Energy or equivalent as approved by the Community Development Department Director. Final details regarding pedestrian amenities and streetlights will be submitted for review and approval prior to final development plan approval. All amenities will be maintained in perpetuity by the HOA.

Building & Energy Resilience Features:

The Developer will install ENERGY STAR–rated HVAC systems and appliances, smart thermostats and properly sealed ductwork, as well as tankless water heaters for on-demand hot water in all homes. In addition, each home will have generator-ready wiring with optional backup generator installation. Homes will also be pre-wired for Level 2 EV charging in garages or designated parking areas. Additional resiliency features will include: (a) LED lighting throughout for reduced energy consumption; and (b) Water Sense-rated fixtures for improved water efficiency. Smart home and leak detection systems, as well as whole-house surge protection and smart load management panels will be available as options to home buyers. In addition, all homes will be built to withstand a 115-mph wind load and gutter systems will be designed to move stormwater away from building foundations utilizing a splash block at the bottom of the downspout.

The community lake will serve as a stormwater management facility, which in concert with a new drainage system designed to current standards, will also enhance flood resiliency. In addition, during the development of the final site development plan, options for inclusion of resilience measures for stormwater management such as bio-retention, rain gardens, etc. will be considered and included, to the extent practical and cost effective, as determined by the Developer’s civil engineer in consultation with the Developer.

Parking Analysis:

As depicted on the Concept Plan, a total of 150 parking spaces on lots will be provided. The breakdown is as follows:

REQUIRED PARKING:

MD-4
(1BED = 1 SPACE MIN. 1.5 SPACES MAX, 2 BED = 1.5 SPACES MIN. 2 SPACES MAX, 3+ BED = 2 SPACES MIN. 2.25 SPACES MAX)
+ 1 GUEST SPACE PER 5 UNITS
ASSUMING ALL 3+ BED UNITS
(35 UNITS * 2 SPACES PER UNIT) + 7 GUEST SPACES = 77 SPACES MINIMUM
(35 UNITS * 2.25 SPACES PER UNIT) + 7 GUEST SPACES = 81 SPACES MAXIMUM

R-4
2 SPACES PER HOUSEKEEPING UNIT
40 UNITS * 2 SPACES PER UNIT = 80 SPACES REQUIRED

Additional spaces will be provided on both sides of Lawrence Avenue and Sargeant Street through unrestricted on-street parking.

PARKING PROVIDED:

MD-4

A MINIMUM OF TWO ON LOT DRIVEWAY SPACES WILL BE INCLUDED ON EACH LOT FOR A TOTAL OF 70 SPACES MINIMUM ON LOTS.
ADDITIONAL SPACES PROVIDED BY ON STREET PARKING AS SHOWN

R-4

ALL REQUIRED SPACES FOR R-4 LOTS WILL BE PROVIDED IN DRIVEWAYS TO ACCOMMODATE TWO CARS ON EACH LOT – FOR A TOTAL OF 80 SPACES
TOTAL PARKING PROVIDED AS SHOWN: 150 SPACES

Additional spaces will be provided on both sides of Lawrence Avenue and Sargeant Street through unrestricted on-street parking.

Impact to Adjacent Properties:

Increasing the population of Buckroe to support a vibrant commercial base through the addition of high-quality for sale single-family homes and townhomes will facilitate economic development and enhance quality of life for residents. In addition to the HRHA Property, the Developer has acquired the Developer Properties and intends to acquire the Wampler Property, so these properties will be included in the overall redevelopment and revitalization of the Property creating a larger more cohesive and impactful neighborhood revitalization project.

Impact to City Services:

As indicated above, the Developer will install new sewer and water lines, curb, gutter and sidewalks within existing platted streets and will create a second entrance into the Project at Lawrence Avenue. The Project will require an additional thirty-two (32) water meters to be added to the forty-three (43) existing water meters. The Developer also needs to acquire 32 new sewer taps. The Property was previously developed with residential lots and will remain residential with a mix of units in conformity with the Master Plan and HRHA's redevelopment policies.

Newport News Waterworks (“NNWW”) flow testing indicates that water service should not be an issue. Water modeling is underway, as is analysis of sanitary sewer pump station capacity. Both will be addressed during the full subdivision review process with NNWW. It is anticipated that all necessary services will be available to support the Project.

As indicated above, sewer lines within the Project up to the manhole located at the intersection of Lawrence Avenue and Old Buckroe Road will be replaced with this Project. Based on discussions with City staff and the HRSD flow projection spreadsheet, the new gravity system will be required to serve the seventy-five (75) units being developed along with this plan as well as the existing six (6) units that will remain that are currently using the outdated system in Lawrence Avenue. In total the eighty-one (81) units generate an average flow of 17.44 gpm and a peak flow of 43.59 gpm. Based on feedback from City staff some downstream gravity system improvements may be required in addition to the replacement of lines in Lawrence Avenue and Sargeant Street.

Consistency with Hampton Community Plan:

The Buckroe Plan calls for multi-family, mixed income communities with architectural design based on Colonial and Victorian styles that reflect the coastal location of Buckroe. The Master Plan encourages design elements such as porches, awnings, and dormers. Using the Master Plan and Buckroe Bayfront Pattern Book as its guide, the Developer intends to develop a community with a mix of high quality single-family detached homes and townhomes, which are harmonious with Buckroe's historic traditions.

Moreover, the Project aligns closely with the Buckroe Plan's specific goals of (a) encouraging compatible infill development that respects existing neighborhood scale; (b) reinforcing the area's identity as a coastal, walkable community; (c) strengthening linkages to the Fort Monroe and Buckroe Beach waterfronts; and (d) promoting a mix of housing types to broaden Hampton's residential appeal.

Overall, the Project is consistent with HRHA's policy goals and the Buckroe Plan, which recommend increasing the population of Buckroe to support a vibrant commercial base through the addition of high-quality residential units, in order to facilitate economic development and to enhance the quality of life for residents.

Conclusion:

North Mallory Quay represents a unique opportunity for the City of Hampton to see its heritage carried forward through a new community that captures the spirit of both Buckroe Beach and Phoebus — its history, architecture, and proximity to the Chesapeake Bay.

Development Team

Developer: Arland Development

Ownership Entity: North Mallory Quay, LLC

Architect: Crouse/Saunders

Civil Engineer: Timmons Engineering

Landscape Architect: Timmons

Legal: Willcox & Savage, P.C.

Exhibit A
To
Project Narrative

HRHA PROPERTY

1 Sargeant Street
Tax ID 12006047

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered ONE (1), in College Court Subdivision, as shown on plat filed and of record in the office of the Clerk of the Circuit Court of the City of Hampton, Virginia, in Plat Book 2, page 68, and as revised in Plat Book 3, page 129, in said office, and to which said plats reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from George C Ronan dated March 25, 2002 and recorded March 25, 2002 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 020006687.

3 Sargeant Street
Tax ID 12006048

All that certain lot, piece or parcel of land situate. lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered 2, in College Court Subdivision, as shown on plat filed and of record in the office of the Clerk of the Circuit Court of the City of Hampton, Virginia, made by R. F. Pyle, Engineers and Surveyors, dated May 16, 1950, in Plat Book 2, page 68 and as revised by plat in Plat Book 3, at page 129 in said office.

It being more particularly described on that certain plat entitled, "PLAT OF PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY LOT 2 COLLEGE COURT CITY OF HAMPTON, VIRGINIA", dated April 29, 2002, and prepared by Becouvarakis and Associates; a copy of which plat is recorded in Instrument Number 020017626.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry Mason dated August 23, 2002, and recorded August 27, 2002, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 020017626.

7 Sargeant Street
Tax ID 12006049

All those certain lots, pieces or parcels of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered THREE-A (3A) and Lot Numbered THREE B (3B), as shown on that certain plat entitled, "PLAT OF THE PROPERTY OF CHRISTOPHER J. LARSON, LOT 3A, DIVISION OF LOT 3, COLLEGE COURT, CITY OF HAMPTON, VA.", which plat is dated October 25, 1988, made by Davis

& Associates, Surveyors & Planners, a copy of which said plat is recorded in Deed Book 928, Page 715; and known and designated as Lots 3-A and 3-B, as shown on that certain plat entitled, "PLAT OF PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY LOTS 3-A & 3-B COLLEGE COURT HAMPTON, VIRGINIA", dated October 6, 2003, and prepared by Becouvarakis and Associates; a copy of which plat is recorded in Instrument Numbers 030028112 and 030026569.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Christopher J. Larson dated October 23, 2003, and recorded November 7, 2003, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 030028112.

It being the same property conveyed to Hampton Road Redevelopment and Housing Authority by deed from James F. Huff Jr. dated October 23, 2003, and recorded October 27, 2003, in the Clerks' Office of the Circuit Court of the City of Hampton Virginia in Instrument Number 030026569.

11 Sargeant Street
Tax ID: 12006051

All that certain lot, piece or parcel of land, lying, situate and being in the City of Hampton, Virginia, known and designated as Lot FOUR (4) as shown on a certain plat entitled "COLLEGE COURT," made by R. F. Pyle, Engineers and Surveyors dated May 16, 1950, and recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, to which plat reference is hereby made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Lorraine J. Nurney and William T. Nurney, her attorney in fact dated November 30, 2000, and recorded November 30, 2000, in Deed Book 1349 at page 856.

18 Sargeant Street
Tax ID: 12006087

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot THIRTY-FIVE (35), "COLLEGE COURT SUBDIVISION", as shown on plat filed and of record in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, as revised by plat in Plat Book 3, page 129, in said office and survey recorded in Instrument Number 010012607.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Walter S Lingeback and Cornelia S. Lingeback, his wife, dated July 26, 2001 and recorded August 1, 2001 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 010012607.

19 Sargeant Street
Tax ID: 12006053

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, being designated and described on that certain plat entitled, "PLAT OF THE PROPERTY OF HRHA, LOT 6, COLLEGE COURT, CITY OF HAMPTON, VIRGINIA," dated September 9, 2005, and prepared by Walters Land Surveying, Ltd.; a copy of which plat is recorded in Instrument Number 050027424.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Lateon Ronald Still, unmarried dated October 13, 2005, and recorded October 14, 2025 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 050027424.

23 Sargeant Street
Tax ID: 12006054

All that certain lot, piece or parcel of land located in the City of Hampton, Virginia, known, designated and described as Lot Numbered SEVEN (7) as shown on that certain plat entitled, "COLLEGE COURT", made by R. F. Pyle, Engineer and Surveyors, dated May 16, 1950, a copy of which plat is duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, to which reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Heather M. Easley dated June 3, 2016, and recorded June 6, 2016, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 160007183.

27 Sargeant Street
Tax ID 12006055

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known, described and described as Lot Numbered EIGHT (8) in College Court Subdivision as shown on that certain plat filed and of record in the Office of the Circuit Court for the City Hampton, Virginia, in Plat Book 3, at page 129.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Robert A. Teravainen and Lynn M. Teravainen dated January 5, 2016, and recorded January 19, 2016, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 160000557.

35 Sargeant Street
Tax ID 12006057

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia. being known and designated as Lot Numbered TEN (10) as shown on that

certain plat entitled "COLLEGE COURT", made by R. F. Pyle, Engineer, Surveyor, dated May 16, 1950, and duly recorded in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Plat Book 2, page 68.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Barbara C. Edwards dated February 16, 2015, and recorded March 2, 2015, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 150002023.

39 Sargeant Street
Tax ID 12006058

All that certain lot, piece or parcel of land, situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered ELEVEN (11), as shown on that certain plat entitled, "COLLEGE COURT SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, CHESAPEAKE, DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA," which said plat is recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, to which plat reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry G. Mason, Sr. dated July 27, 2013, and recorded July 2, 2013¹, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 130010514.

43 Sargeant Street
Tax ID 12006059

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered 12, as shown on that certain plat entitled, "COLLEGE COURT," and recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, and revised in Plat Book 3, page 129, to which plats reference is here made.

It being more particularly described on that certain plat entitled, "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY, LOT 12, COLLEGE COURT, CITY OF HAMPTON, VIRGINIA", dated June 27, 2000, and prepared by Becouvarakis & Associates; a copy of which plat is attached and recorded in Deed Book 1333 at page 2162.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Thirteenth Street Properties L.C., a Virginia limited liability company dated June 30, 2000 and recorded June 30, 2000 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 1333 at page 2162.

¹ The deed was recorded on July 2, 2013; however, it is dated July 27, 2013. This appears to be a typo as grantor's signature was notarized on June 28, 2013.

2 Lawrence Avenue
Tax ID 12006066

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered SEVENTEEN (17), as shown on that certain plat entitled "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY, LOT 17, COLLEGE COURT, CITY OF HAMPTON, VIRGINIA", dated November 13, 2006, and made by Walters Land Surveying, Ltd., a copy of which plat is recorded in Instrument Number 060031358.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from John R. Waller, Jr. individually and doing business as Eagle Real Estate Investments dated December 6, 2006 and recorded December 7, 2006 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 060031358.

9 Lawrence Avenue
Tax ID 12006070

All that certain lot, piece, or parcel of land situate, lying, and being in the City of Hampton, Virginia, known and designated as Lot Numbered TWENTY (20) as shown on that certain plat entitled, "COLLEGE COURT, SUBDIVISION OF THE PROEPRTY OF THE UNITED STATES GOVERNMENT, CHESAPEAKE DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA", dated May 16, 1950, made by R.F. Pyle, Engineer & Surveyor, and duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68; and known and designated as Lot 20 as shown on that certain plat entitled, "PLAT OF PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY LOT 20 COLLEGE COURT CITY OF HAMPTON, VIRGINIA", dated August 17, 2004, and prepared by Becouvarakis and Associates, a copy of which plat is recorded in Instrument Number 040023879.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from William J. Stutt and Linda G. Stutt dated August 23, 2004, and recorded August 31, 2004, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 040023879.

17 & 19 Lawrence Avenue
Tax ID 12006072

All those certain lots, pieces or parcels of land situate, lying and being in the City of Hampton, Virginia, known and designated as Parcel Numbered 22A, also commonly known as 17 Lawrence Avenue, and Parcel 22B, also commonly known as 19 Lawrence Avenue as shown on that certain plat entitled, "PLAT OF THE PROPERTY OF DAVID M & DOUGLAS R SCOGGINS, LOT 22 COLLEGE COURT SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, CITY OF HAMPTON VIRGINIA", which plat is made by Davis & Associates, Surveyors & Planners, dated June 13, 1984, and recorded in Deed

Book 685 at page 404; and known and designated as Lot 22, as shown on that certain plat entitled, "PLAT OF THE PROEPRTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHROITY, LOT 22, COLLEGE COURT, CITYOF HAMPTON, VIRGINIA", dated July 19, 2000, and prepared by Becouvarakis and Associates, a copy of which plat is recorded in Deed Book 1343, at Page 386.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from David M. Scoggins dated September 27, 2000, and recorded September 27, 2020 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 1343 at page 386.

21 Lawrence Avenue
Tax ID 12006074

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known, designated and described as Lot Numbered TWENTY-THREE (23) as shown on a certain plat entitled "COLLEGE COURT", which plat is recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, at Page 68, with a revision in Plat Book 3, at Page 129 and known and designated as Lot 23, as shown on that certain plat entitled, "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY LOT 23 COLLEGE COURT CITY OF HAMPTON, VIRGINIA", dated October 11, 2001, and prepared by Becouvarakis and Associates; a copy of which plat is recorded in Instrument Number 010021675.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by David L. Spruill and Rachael M. Spruill dated December 27, 2001, and recorded December 28, 2001, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 010021675.

25 Lawrence Avenue
Tax ID 12006075

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, and known, designated and described as Lot 24, College Court Subdivision, as shown on that certain plat dated May 16, 1950, made by R. F. Pyle, Engineer and Surveyor, and duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia in Plat Book 2, page 68, to which plat reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Sharon Van Meter Garrett Limpus aka Sharon Garrett Limpus and Robert Wayne Limpus her husband and Sharon Van Meter Garrett Limpus aka Sharon Garrett Limpus, Trustee of the trust created under the Will of Lyle E. Van Meter dated November 29, 1960, by deed dated August 2, 2018 and recorded August 7, 2018 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 180009560.

29 Lawrence Avenue
Tax ID 12006076

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot 25, as shown on that certain plat entitled, "COLLEGE COURT" and duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 3, page 129; and known and designated as Lot 25, College Court, as shown on that certain plat entitled, PLAT OF PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY, LOT 25, COLLEGE COURT, CITY OF HAMPTON, VIRGINIA", dated December 21, 2000 and recorded in the aforesaid Clerk's Office in Deed Book 1356 at page 640 to which reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry G Mason dated February 2, 2001, and recorded February 5, 2001, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 1356 at page 640.

33 Lawrence Avenue
Tax ID 12006077

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot 26, in College Court Subdivision, as shown on plat filed and of record in the Office of the Clerk of the Circuit Court of the City of Hampton, Virginia, in Plat Book 2, Page 68, as revised by plat in Plat Book 3, at Page 129 in said office.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry Mason dated August 9, 2012, and recorded August 23, 2012, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 120012593.

45 Lawrence Avenue
TAX ID: 12006081

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered TWENTY-NINE (29) as shown on that certain plat entitled, "COLLEGE COURT", made by R. F. Pyle, Engineer & Surveyor, dated May 16, 1950, recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, revised by plat entitled, "REVISION OF #2 COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, REVISION OF LOTS 28 AND 29", recorded in the Clerk's Office aforesaid in Plat Book 3 (erroneously shown as Plat Book 2 in deed of gift recorded as Instrument No. 080012936), page 129.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Christopher A Easley dated May 20, 2016, and recorded May 23, 2016, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 160006440.

49 Lawrence Avenue
Tax ID 12006082

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND WITH PRIVILEGES AND APPURTENANCES THEREUNTO BELONGING SITUATE AND BEING IN THE CITY OF HAMPTON, VIRGINIA, AND BEING SHOWN AND DESIGNATED AS LOT THIRTY (30), ON A CERTAIN PLAT ENTITLED, "COLLEGE COURT SUBDIVISION" RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT FOR THE CITY OF HAMPTON IN PLAT BOOK 2, PAGE 68, AND REVISED AND RECORDED IN PLAT BOOK 3, PAGE 129.

It being the same property conveyed to Hampton Redevelopment and Housing Authority a Virginia Corporation by deed from the Secretary of Housing and Urban Development dated September 15, 1998 and recorded October 1, 1998 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 1258 at page 665.

2 Sargeant Street
Tax ID 12006083

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, being designated and described on that certain plat entitled, "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY, LOT 31, COLLEGE COURT, CITY OF HAMPTON, VIRGINIA, dated September 9, 2005, and prepared by Walters Land Surveying, Ltd., recorded September 28, 2005 in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia in Instrument Number 050025709.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from William J. Stutt and Linda G. Stutt dated September 27, 2005, and recorded September 28, 2005, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 050025709.

10 Sargeant Street
TAX ID 12006085

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot 33, in College Court Subdivision, as shown on that certain plat recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, as revised by plat in Plat Book 3, page 129, to which references are hereby made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry G. Mason Sr. dated April 23, 2014, and recorded April 25, 2014, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 140004713.

14 Sargeant Street

Tax ID 12006086

All that certain lot situate in the City of Hampton, State of Virginia, known and designated as Lot Numbered THIRTY-FOUR (34) in College Court Subdivision, as shown on that certain plat filed of record in the Clerk's Office of the Circuit Court of Hampton, Virginia, in Plat Book 2, page 68, and as revised by plat filed of record in the Clerk's Office aforesaid in Plat Book 3, page 129, to which reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from David W. Brown and Jennifer L. Brown dated May 21, 2012, and recorded May 25, 2012, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 120007641.

15 Sargeant Avenue

Tax ID #12006052

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND WITH PRIVILEGES AND APPURTENANCES THEREUNTO BELONGING SITUATE AND BEING IN THE CITY OF HAMPTON, VIRGINIA, AND BEING SHOWN AND DESIGNATED AS LOT FIVE (5), ON A CERTAIN PLAT ENTITLED, "COLLEGE COURT SUBDIVISION" RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT FOR THE CITY OF HAMPTON IN PLAT BOOK 2, PAGE 68, AND REVISED AND RECORDED IN PLAT BOOK 3, PAGE 129.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by Deed from Charles R. Sheppard, Executor of The Estate of Mildred L. Sheppard, aka Mildred E. Sheppard, deceased dated May 16, 2005 and recorded May 20, 2005 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 050012473.

18 Sargeant Street

Tax ID 12006087

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot THIRTY-FIVE (35), "COLLEGE COURT SUBDIVISION", as shown on plat filed and of record in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, as revised by plat in Plat Book 3, page 129, in said office, and known and designated as Lot 35 College Court on that certain plat entitled, "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY, LOT 35, COLLEGE COURT", dated May 8, 2001 and recorded August 1, 2001 in the aforesaid Clerk's Office as Instrument Number 010012607.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Walter S. Lingeback and Cornelia S. Lingeback, his wife dated July 26, 2001, and recorded August 1, 2001, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 010012607.

22 Sargeant Street
Tax ID 12006088

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot 36, College Court, as shown on that certain plat entitled, "PLAT OF PROPERTY OF HAMPTON REDEVELOPMENT & HOUSING AUTHORITY LOT 36 COLLEGE COURT CITY OF HAMPTON, VIRGINIA", made by Becouvarakis and Assoc., PC., dated October 7, 2003 and recorded in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia, in Instrument Number 030026570."

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Gary M. Greer and Terri J. Greer, husband and wife dated October 23, 2003, and recorded October 27, 2003, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 030026570.

30 Sargeant Street
Tax ID 12006090

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton (formerly Chesapeake Magisterial District, Elizabeth City County), Virginia, together with all and singular the privileges and appurtenances thereunto belonging or in anywise appertaining, being known, designated and described as Lot THIRTY-EIGHT (38) in College Court Subdivision as shown on plat filed and of record in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, and as revised by plat in Plat Book 3, page 129 in the said Clerk's Office.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from David W. Brown and Jennifer L Brown dated July 11, 2017, and recorded July 19, 2017, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 170008821.

10 Lawrence Avenue
Tax ID 12006091

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot 39, as shown on that certain plat entitled "College Court," recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, at page 68.

It being the same property conveyed to Hampton Redevelopment & Housing Authority by deed of gift from City of Hampton, Virginia a municipal corporation dated March 28, 2018, and recorded April 9, 2018, in the Clerk's Office of the Circuit Court of the city of Hampton, Virginia in Instrument Number 180004154.

14 Lawrence Avenue
Tax ID# 12006092

All that certain lot piece or parcel of land located in the City of Hampton, Virginia, known and designated as Lot 40 in College Court Subdivision as shown on plat filed and of record in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, as revised in Plat Book 3, page 129.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Virgil E. Lindle and Mary E. Lindle husband and wife dated October 26, 2016, and recorded November 1, 2016, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 160014101.

18 Lawrence Avenue
TAX ID# 12006093

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered FORTY-ONE (41), as shown on that certain plat entitled, "COLLEGE COURT SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT CHESAPEAKE DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA", made by R. F. Pyle, Engineer and Surveyor, Newport News, Virginia, dated May 16, 1950, duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, and revised plat as recorded in Plat Book 3, page 129, to which plats reference is here made; and known and designated as Lot 41, as shown on that certain plat entitled, "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT AND HOUSING AUTHORITY LOT 41 COLLEGE COURT CITY OF HAMPTON, VIRGINIA", made by Andrew Becouvarakis, Surveyor and Planner, dated November 28, 2000 and recorded December 21, 2000, in the aforesaid Clerk's Office in Deed Book 1352, Page 325.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Boyd A. Starcher and Patricia C. Starcher, husband and wife dated December 21, 2000 and recorded December 21, 2000 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 1352 at page 322.

30 Lawrence Avenue
Tax ID 12006097

All that certain lot, piece or parcel of land situate, lying, and being in the City of Hampton, Virginia, known and designated as Lot Numbered FORTY- FOUR (44), as shown on that certain

plat entitled, "COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, CHESAPEAKE DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA", dated May 16, 1950, made by A. F. Pyle, Engineer and Surveyor, which plat is duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, and revised in Plat Book 3, page 125, to which plats reference are hereby made; and known and designated as Lot 44, as shown on that certain plat entitled, "PLAT OF THE PROPERTY OF HAMPTON REDEVELOPMENT AND HOUSING AUTHORITY LOT 41 COLLEGE COURT CITY OF HAMPTON, VIRGINIA", made by Andrew Becouvarakis, Surveyor and Planner, dated October 5, 2000 and recorded November 7, 2000, in the aforesaid Clerk's Office in Deed Book 1347, Page 657.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry G. Mason, Sr. dated November 6, 2000, and recorded November 7, 2000 in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 1347 at page 657.

34 Lawrence Avenue
Tax ID 12006098

All that certain lot, piece or parcel of land lying, situate and being in the City of Hampton, Virginia, and known, designated and described as Lot Numbered FORTY-FIVE (45), as shown on that certain plat entitled, "COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, CHESAPEAKE DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA," made by R.F. Pyle, Engineer and Surveyor dated May 16, 1950, and recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68 and revised in Plat Book 3 at page 129, to which plat reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry G. Mason dated March 24, 2014, and recorded March 25, 2014, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 140003335.

38 Lawrence Avenue
Tax ID 12006099

All that certain lot, piece or parcel of land, situate, lying and being in the City of Hampton, State of Virginia, known and designated as Lot Number FORTY-SIX (46), in College Court Subdivision, as shown on plat filed and recorded in the Office of the Clerk of the Circuit Court of the City of Hampton, Virginia, in Plat Book 2, Page 68, and as revised by plat recorded in the aforesaid Clerk's Office in Plat Book 3, Page 129, to which plat reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Robert T. Hammond, unmarried dated July 20, 2001, and

recorded July 20, 2001, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 010611888.

1 Lawrence Avenue
Tax ID # 12006067

All that certain lot, piece or parcel of land, situate and being in the City of Hampton, Virginia, known, designated and described as "PART OF LOT 18" as shown on that certain plat entitled, "PLAT SHOWING PROPERTY OF JAMES L. & PATRICIA J. GREENE, BEING PART OF LOT 18, COLLEGE COURT, HAMPTON, VIRGINIA," made by John N. Ruth, Professional Land Surveyor, dated July 20, 1980, a copy of which plat is recorded in Deed Book 577, Page 680 in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, to which reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Thomas E. Taliaferro and Diane Evans dated February 1, 2011, and recorded February 16, 2011, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 110002132.

3 Lawrence Avenue
Tax ID 12006068

ALL THAT certain piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot 18, as shown on that certain plat entitled "Part of Lot 18, College Court, City of Hampton, VA", dated February 23, 1989, made by Davis & Associates, Surveyors & Planners, recorded in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia, in Deed Book 947, at Page 458.

It being the same property conveyed to The Hampton Redevelopment and Housing Authority by deed from Liam A. Konouck dated October 7, 2009, and recorded October 9, 2009, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 090016740.

6 Sargeant Street
Tax ID 12006084

All that certain lot, piece or parcel of land situated, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered THIRTY-TWO (32), as shown that certain plat entitled, "COLLEGE COURT" made by R.F. Pyle, Engineer & Surveyor, dated May 16, 1950 and recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia in Plat Book 2, page 68, revised by plat entitled, "REVISION #2 OF COLLEGE COURT SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, REVISION OF LOTS 28 & 29" recorded in the Clerk's Office aforesaid in Plat Book 3, page 129, to which reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Starting Five Investments, LLC dated October 31, 2019, and recorded November 4, 2019, in the Clerk's Office of the Circuit court of the City of Hampton, Virginia in Instrument Number 190014569.

26 Sargeant Street
Tax ID 12006089

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered THIRTY SEVEN (37), as shown on that certain plat entitled "COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, CHESAPEAKE DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA", made by R.F. Pyle, Engineer and Surveyor, dated May 16, 1950, which plat is duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, to which plat reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry Mason dated April 12, 2013, and recorded April 16, 2013, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 130006007.

26 Lawrence Avenue
TAX ID 12006096

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Numbered FORTY-THREE (43), as shown on that certain plat entitled, "COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT, CHESAPEAKE DISTRICT, ELIZABETH CITY COUNTY, VIRGINIA," made by R.F. Pyle, Engineer and Surveyors, dated May 16, 1950, which plat is duly recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, revised on September 11, 1953, in Plat Book 3, page 129, to which plat reference is here made.

It being the same property conveyed to Hampton Redevelopment and Housing Authority by deed from Terry Mason dated August 9, 2012, and recorded August 23, 2012, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 120012592.

Exhibit B

To

Project Narrative

DEVELOPER PROPERTIES

5 & 7 Lawrence Avenue
Tax ID12006069

ALL THAT certain piece or parcel of land, lying, situate and being in the Borough of Chesapeake, City of Hampton, Virginia, being known and designated as Lot Number 19 in College Court Subdivision as shown on a plat filed and of record in the Office of the Clerk of the Circuit Court of the City of Hampton, Virginia, in Plat Book 2, page 68, as revised by plat in Plat Book 3, at page 129 in said office.

It being the same property conveyed to North Mallory Quay LLC by deed from Synergy Syndications LLC dated October 15, 2025, and recorded October 21, 2025, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 250013621.

22 & 24 Lawrence Avenue
Tax ID 12006094

All that certain lot, piece or parcel of land lying, situate and being in the City of Hampton, Virginia, known, designated and described as Lot Numbered Forty-Two (42) as shown on that certain plat entitled, "College Court", dated May 16, 1980, made by R. F. Pyle, Engineer and Surveyor, recorded in the Clerk's Office of the Circuit Court for the City of Hampton, Virginia, in Plat Book 2, page 68, to which plat reference is hereby made.

It being the same property conveyed to North Mallory Quay LLC by deed from Synergy Syndications LLC dated October 15, 2025, and recorded October 21, 2025, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 250013618.

37 Lawrence Avenue
Tax ID 12006078

All that certain lot, piece or parcel of land, situate, lying and being in the City of Hampton, Virginia, known, designated and described as Parcel "A", as shown on the certain plat entitled "Plat of the property of Walter L. Hogge and Elisa Rotenberry shown as (Lot 27-1 and 27 B) part of Lot 27 College Court, Hampton, Va.", dated July 16, 1987, revised September 1, 1987, made by Becouvarakis and Associates, Land Surveying, a copy of which said plat is recorded in Deed Book 861 at page 871 said parcel being the northerly portion or part of a duplex now known as 37 Lawrence Avenue, Hampton, Virginia.

It being the same property conveyed to North Mallory Quay LLC by deed from Synergy Syndications LLC dated October 15, 2025, and recorded October 21, 2025, in the Clerk's Office

of the Circuit Court of the City of Hampton, Virginia in Instrument Number 250013620.

39 Lawrence Avenue

Tax ID 12006079

ALL that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known, designated and described as PARCEL "B", as shown on that certain plat entitled, "PLAT OF THE PROPERTY OF WALTER L. HOGGE & ELISA ROTENBERRY SHOWN AS (LOT 27-A & 27-B) PART OF LOT 27 COLLEGE COURT, HAMPTON, VA.", made by Becouvarakis and Associates, Land Surveying, dated July 16, 1987, revised September 1, 1987, and recorded in the Clerk's Office, Circuit Court, City of Hampton, Virginia, in Deed Book 861, at Page 880, to which plat reference is hereby made for a more particular description of the property hereby conveyed.

It being the same property conveyed to North Mallory Quay LLC by deed from Synergy Syndications LLC dated October 15, 2025, and recorded October 21, 2025, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 250013617.

41 Lawrence Avenue

Tax ID 12006080

All that certain lot, piece, or parcel of land situate, lying, and being in the city of Hampton, Virginia, known and designated as Lot Numbered TWENTY-EIGHT (28), shown originally on that certain plat entitled, "COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF THE UNITED STATES GOVERNMENT dated May 16, 1950, made by R. F. Pyle, Engineer and Surveyor, being of record in the Clerk's Office of the Circuit Court for the city of Hampton, Virginia, in Plat Book 2, page 68; and being subsequently shown in revised form as said Lot Numbered TWENTY-EIGHT (28) on the certain plat entitled, "REVISION 32 OF COLLEGE COURT, SUBDIVISION OF THE PROPERTY OF UNITED STATES GOVERNMENT, REVISIONS OF LOTS 28 AND 29, CITY OF HAMPTON, VIRGINIA," dated September 11, 1953, made by R. F. Pyle, C.E., and duly of record in the aforesaid Clerk's Office in Plat Book 3, page 129, to which reference is here made, and being subject to easements and restrictions of record.

It being the same property conveyed to North Mallory Quay LLC by deed from Robert D. Gurganus dated October 15, 2025, and recorded October 31, 2025, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Instrument Number 250014192.

Exhibit C

To

Project Narrative

WAMPLER PROPERTY

31 Sargeant Street

Tax ID: 12006056

All that certain lot, piece or parcel of land situate, lying and being in the City of Hampton, Virginia, known and designated as Lot Nine (9), as shown on that certain plat entitled, "College Court Subdivision", and recorded in the Clerk's Office of the Circuit Court of Hampton, Virginia, in Plat Book 2, page 68, to which reference is here made.

It being the same property conveyed to Jack L. Wampler by deed from Jack L. Wampler and Marion C. Wampler dated March 2, 1970, and recorded March 4, 1970, in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia in Deed Book 428 at page 73.

Exhibit D
To
Project Narrative

[Attach Concept Plan]

Exhibit E
To
Project Narrative

[Attach Landscape Guidelines]

Exhibit F
To
Project Narrative

[Attach Color Palette]

Exhibit G
To
Project Narrative

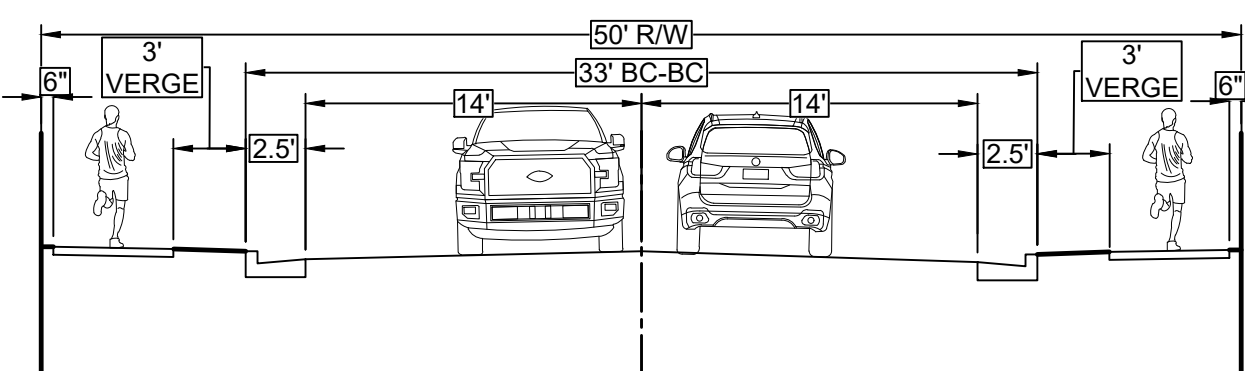
[Attach Building Elevations]

LEGEND AND NOTES

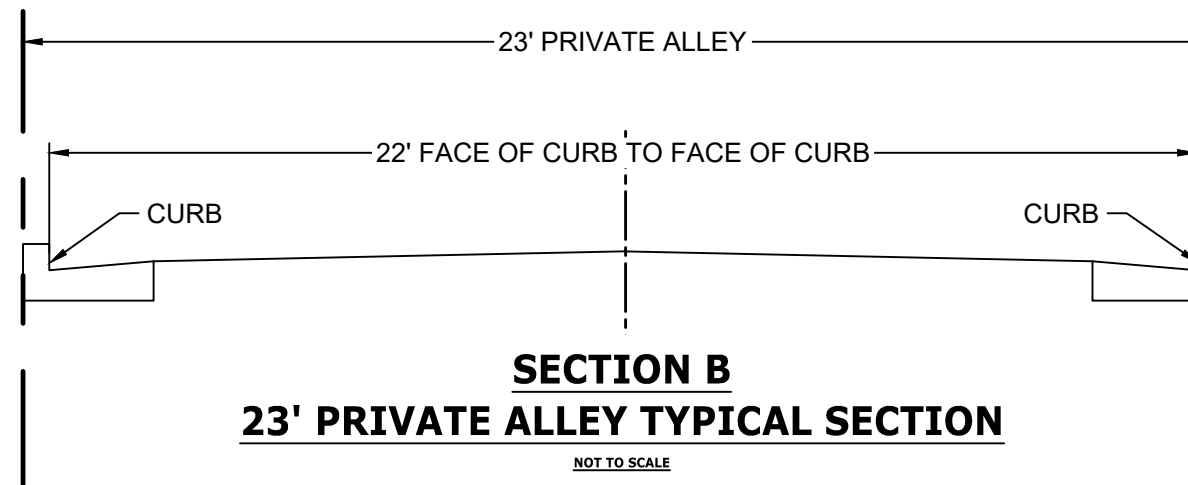
- R4 ZONING
- MOD. MD 4 ZONING*

*MD 4 ZONING MAXIMUM TOWN HOME BUILDING SETBACK WILL BE MODIFIED TO 30' MAXIMUM SETBACK TO ALLOW FOR LANDSCAPE PRESERVATION AND SITE SPECIFIC LAYOUT ADJUSTMENTS.

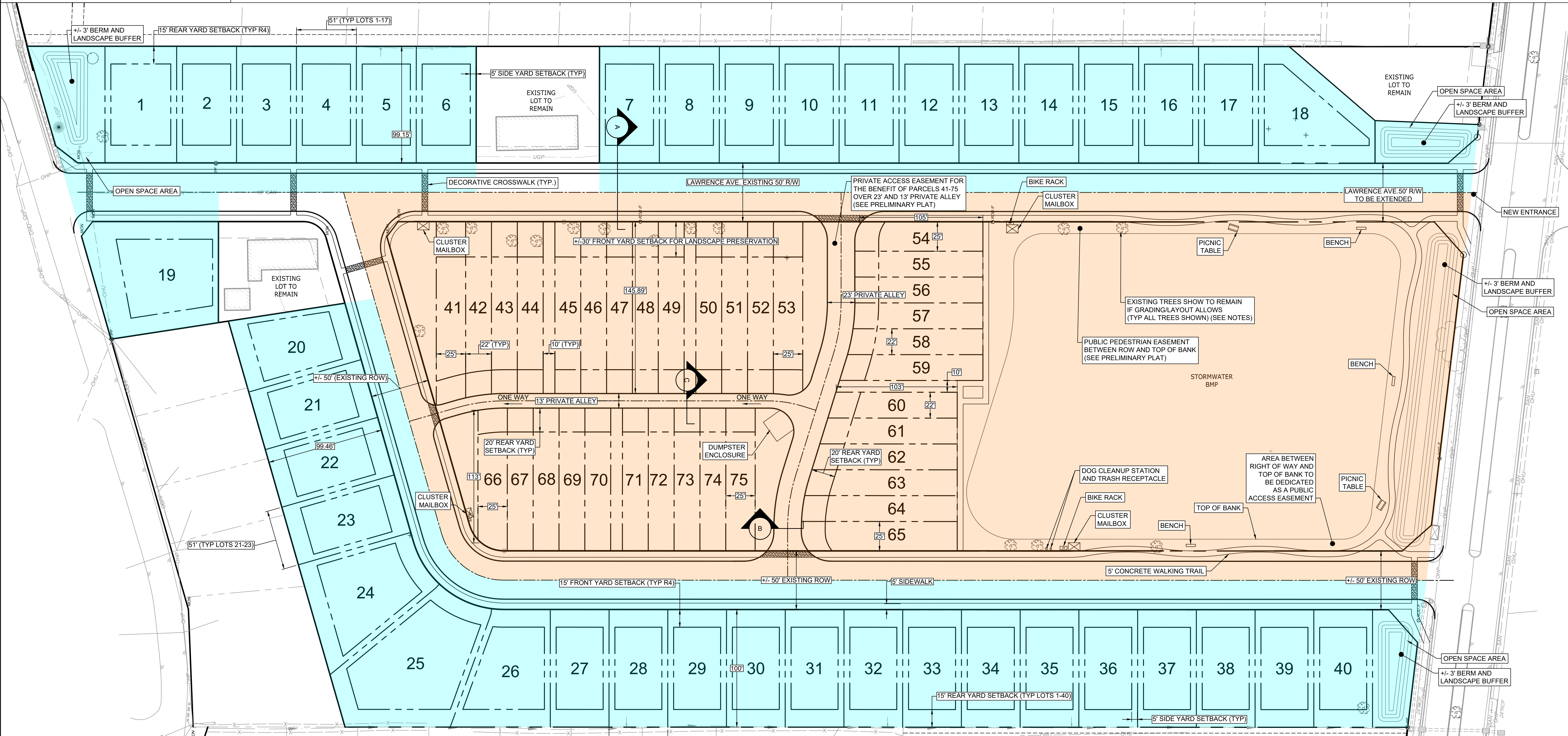
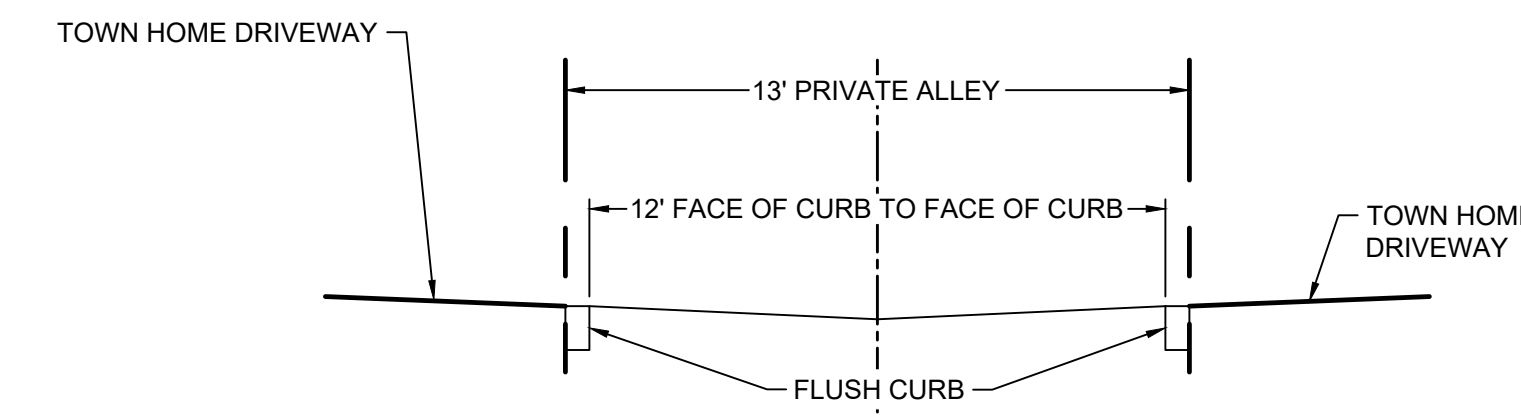
SECTION A
(50' R/W WITH PARKING)
NOT TO SCALE



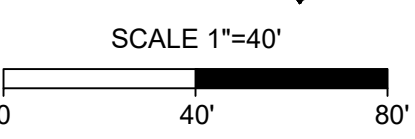
SECTION B
23' PRIVATE ALLEY TYPICAL SECTION
NOT TO SCALE



SECTION C
13' PRIVATE ALLEY TYPICAL SECTION
NOT TO SCALE



- NOTES:**
- THE EDGE OF THE SWM FEATURE SHALL BE DESIGNED AND PLANTED TO APPEAR NATURAL AND SHALL USE NATIVE VEGETATION PER PROFFER STATEMENTS
 - STREET TREES SHALL BE PLANTED AND MAINTAINED AROUND THE ENTIRETY OF THE STORM WATER MANAGEMENT FEATURE ON ALTERNATING SIDES OF THE PATH SO THAT AT 20 YEARS OF GROWTH THEY WILL CREATE A FULL CANOPY AROUND THE FEATURE EXCEPTING (1) NECESSARY SPACING AT CORNERS FOR REQUIRED SIGHT LINES, AND (2) ONE LOCATION FOR MAINTENANCE ACCESS NO GREATER THAN 15 FEET WIDE. AT LEAST TWO SPECIES OF TREE SHALL BE USED. THE SPECIES SHALL BE CHOSEN FROM THE APPROVED LIST REFERENCED IN THE 'CITY OF HAMPTON LANDSCAPE GUIDELINES' AND APPROVED BY THE CITY'S DIRECTOR OF COMMUNITY DEVELOPMENT.
 - EXISTING MATURE TREES, IDENTIFIED BY HRNA AS VIABLE ('PRESERVED TREES') SHALL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE AND SHALL BE DEPICTED ON THE LANDSCAPE PLAN. UPON CONSULTATION WITH AND WRITTEN APPROVAL FROM THE CITY'S DIRECTORS OF COMMUNITY DEVELOPMENT AND PUBLIC WORKS, GRANTOR MAY REMOVE AGREED UPON PRESERVED TREES AS MAY BE NECESSARY FOR THE PLACEMENT OF STREETS AND/OR ALLEYS, SIDEWALK AND/OR TRAIL, THE STORMWATER MANAGEMENT PLAN, OR THE DRAINAGE PLAN.
 - EXACT LOCATIONS OF SITE FEATURES, MATERIALS, COLORS, AND STYLES ARE TO BE APPROVED BY CITY STAFF PRIOR TO INSTALLATION.
 - THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE IN COORDINATION WITH CITY STAFF. MODIFICATIONS TO DIMENSIONS, LOCATIONS OF FEATURES, ETC. MAY BE REQUIRED AND SHALL BE COORDINATED WITH CITY STAFF DURING THE SITE PLAN DEVELOPMENT PROCESS.
 - NO TWO DWELLING UNITS WITH THE SAME COLOR PALETTE; FRONT ELEVATION OR MIRRORED FRONT ELEVATION; SHALL BE LOCATED NEXT TO ONE ANOTHER





① FRONT ELEVATION - LAPSIDING
1/4" = 1'-0"



② REAR ELEVATION - LAPSIDING
1/4" = 1'-0"



③ SIDE ELEVATION - LAPSIDING
1/4" = 1'-0"

LAYOUT 1 - OPTION 1

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26



④ SIDE ELEVATION - LAPSIDING 1
1/4" = 1'-0"



ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 10 FASCIA/RAKE BOARD, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 WINDOW HEAD TRIM, TYP.

5/4 x 6 WINDOW JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

BOARD & BATTEN SIDING

LAP SIDING

LOW-E VINYL WINDOWS
EARTH CRAFT RATED

5/4 x 2 WINDOW SILL TRIM, TYP.

ARCHITECTURAL 30-YEAR
SHINGLES

FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS

10" COLUMN

FULL FACE BRICK BASE

5/4 x 6 DOOR TRIM, TYP.

LAYOUT 1 - OPTION 1

NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

DATE:04/27/26



③ REAR ELEVATION - B & B
1/4" = 1'-0"



② SIDE ELEVATION - B & B
1/4" = 1'-0"



④ SIDE ELEVATION - B & B
1/4" = 1'-0"



① FRONT ELEVATION - B & B
1/4" = 1'-0"

LAYOUT 1 - OPTION 2

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26



- ARCHITECTURAL 30-YEAR SHINGLES
- 5/4 x 12 SOFFIT TRIM, TYP.
- 5/4 x 10 FASCIA/RAKE BOARD, TYP.
- 5/4 x 8 FRIEZE BOARD, TYP.
- 5/4 x 8 HEAD TRIM, TYP.
- 5/4 x 6 JAMB TRIM, TYP.
- 5/4 x 6 CORNER BOARD, TYP.
- BOARD & BATTEN SIDING
- LOW-E VINYL WINDOWS
EARTH CRAFT RATED
- 5/4 x 2 WINDOW SILL TRIM, TYP.
- ARCHITECTURAL 30-YEAR SHINGLES
- FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS
- 10" COLUMN
- FULL FACE BRICK BASE
- 5/4 x 6 DOOR TRIM, TYP.
- WOOD RAILING

LAYOUT 1 - OPTION 2
NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

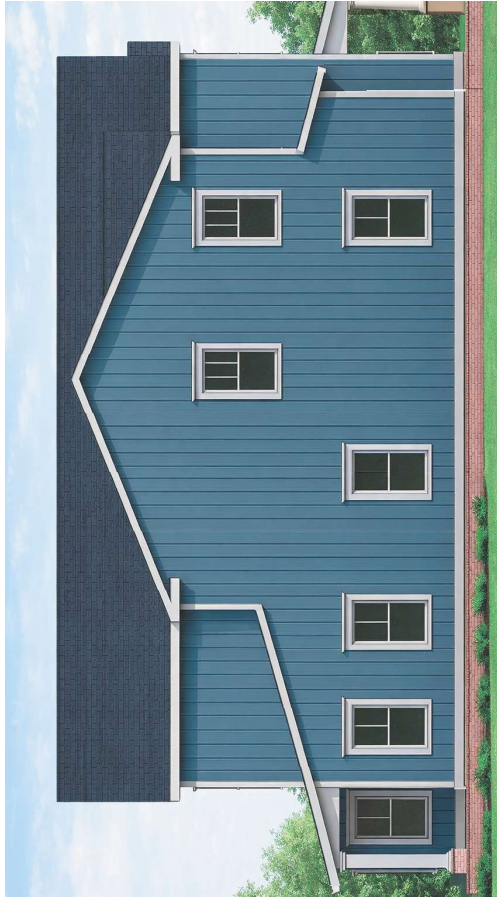
DATE:04/27/26



① FRONT ELEVATION BOARD & BATTEN
1/4" = 1'-0"



② REAR ELEVATION BOARD & BATTEN
1/4" = 1'-0"



③ SIDE ELEVATION 1 - BOARD & BATTEN
1/4" = 1'-0"

LAYOUT 2 - OPTION 1

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26



④ SIDE ELEVATION 2 - BOARD & BATTEN
1/4" = 1'-0"



ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 10 FASCIA/RAKE BOARD, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 HEAD TRIM, TYP.

5/4 x 6 JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

BOARD & BATTEN SIDING

LOW-E VINYL WINDOWS
EARTH CRAFT RATED

5/4 x 2 WINDOW SILL TRIM, TYP.

ARCHITECTURAL 30-YEAR SHINGLES

FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS

10" COLUMN

FULL FACE BRICK BASE

5/4 x 6 DOOR TRIM, TYP.

LAYOUT 2 - OPTION 1

NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

DATE:04/27/26



ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 10 FASCIA/RAKE BOARD, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 HEAD TRIM, TYP.

5/4 x 6 JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

LAP SIDING

LOW-E VINYL WINDOWS
EARTH CRAFT RATED

5/4 x 2 WINDOW SILL TRIM, TYP.

ARCHITECTURAL 30-YEAR SHINGLES

FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS

10" COLUMN

FULL FACE BRICK BASE

5/4 x 6 DOOR TRIM, TYP.

WOOD RAILING

LAYOUT 2 - OPTION 2

NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

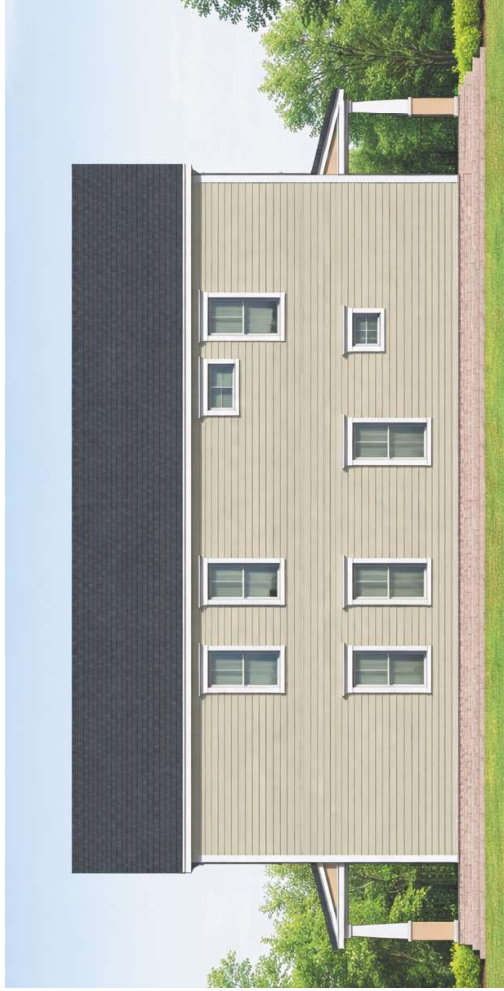
DATE:04/27/26



① FRONT ELEVATION LAP SIDING
1/4" = 1'-0"



② REAR ELEVATION LAP SIDING
1/4" = 1'-0"



③ SIDE ELEVATION 2 - LAP SIDING
1/4" = 1'-0"



④ SIDE ELEVATION 1 - LAP SIDING
1/4" = 1'-0"

LAYOUT 2 - OPTION 2

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26



① FRONT ELEVATION
1/4" = 1'-0"



② REAR ELEVATION
1/4" = 1'-0"



④ SIDE ELEVATION
1/4" = 1'-0"



③ SIDE ELEVATION
1/4" = 1'-0"

LAYOUT 3

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26



STANDING SEAM METAL ROOF

5/4 x 10 FASCIA/RAKE BOARD, TYP.

ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 WINDOW HEAD TRIM, TYP.

5/4 x 6 WINDOW JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

LOW-E VINYL WINDOWS
EARTH CRAFT RATED

LAP SIDING

5/4 x 2 WINDOW SILL TRIM, TYP.

ARCHITECTURAL 30-YEAR
SHINGLES

FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS

10" COLUMN

FULL FACE BRICK BASE

5/4 x 6 DOOR TRIM, TYP.

LAYOUT 3

NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

DATE:04/27/26



① FRONT ELEVATION - BOARD & BATTEN
1/4" = 1'-0"



② REAR ELEVATION - BOARD & BATTEN
1/4" = 1'-0"



③ SIDE ELEVATION - B & B SIDING
1/4" = 1'-0"



④ SIDE ELEVATION - B & B SIDING
1/4" = 1'-0"

LAYOUT 3 - OPTION 2

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26



STANDING SEAM METAL ROOF

5/4 x 10 FASCIA/RAKE BOARD, TYP.

ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 WINDOW HEAD TRIM, TYP.

5/4 x 6 WINDOW JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

LOW-E VINYL WINDOWS
EARTH CRAFT RATED

BOARD & BATTEN SIDING

5/4 x 2 WINDOW SILL TRIM, TYP.

ARCHITECTURAL 30-YEAR
SHINGLES

FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS

10" COLUMN

FULL FACE BRICK BASE

5/4 x 6 DOOR TRIM, TYP.

LAYOUT 3 - OPTION 2

NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

DATE:04/27/26

saunders
+ crouse
ARCHITECTS

19042001
Saunders + Crouse Architects © 2026



① FRONT ELEVATION
1/4" = 1'-0"



② REAR ELEVATION
1/4" = 1'-0"



③ SIDE ELEVATION
1/4" = 1'-0"



④ SIDE ELEVATION
1/4" = 1'-0"

LAYOUT 4 - OPTION 1

NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/26

saunders
+ crouse
ARCHITECTS

19042001
Saunders + Crouse Architects © 2026

- ARCHITECTURAL 30-YEAR SHINGLES
- 5/4 x 12 SOFFIT TRIM, TYP.
- 5/4 x 10 FASCIA/RAKE BOARD, TYP.
- 5/4 x 8 FRIEZE BOARD, TYP.
- 5/4 x 8 WINDOW HEAD TRIM, TYP.
- 5/4 x 6 WINDOW JAMB TRIM, TYP.
- 5/4 x 6 CORNER BOARD, TYP.
- BOARD & BATTEN SIDING
- LAP SIDING
- 5/4 x 2 WINDOW SILL TRIM, TYP.
- LOW-E VINYL WINDOWS
- EARTH CRAFT RATED
- ARCHITECTURAL 30-YEAR SHINGLES
- FIBERGLASS INSULATED FRONT DOORS AND SIDELIGHTS
- 10" COLUMN
- FULL FACE BRICK BASE
- 5/4 x 6 DOOR TRIM, TYP.



LAYOUT 4 - OPTION 1

NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

DATE:04/27/26



④ FRONT ELEVATION
1/4" = 1'-0"



③ REAR ELEVATION
1/4" = 1'-0"



① SIDE ELEVATION
1/4" = 1'-0"



② SIDE ELEVATION
1/4" = 1'-0"

LAYOUT 4 - OPTION 2
NORTH MALLORY QUAY SINGLE FAMILY HOME ELEVATIONS
 N. MALLORY, HAMPTON - VA
 DATE: 04/27/26



ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 10 FASCIA/RAKE BOARD, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 HEAD TRIM, TYP.

5/4 x 6 JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

BOARD & BATTEN SIDING

5/4 x 2 WINDOW SILL TRIM, TYP.

LOW-E VINYL WINDOWS
EARTH CRAFT RATED

ARCHITECTURAL 30-YEAR SHINGLES

FIBERGLASS INSULATED FRONT
DOORS AND SIDELIGHTS

10" COLUMN

FULL FACE BRICK BASE

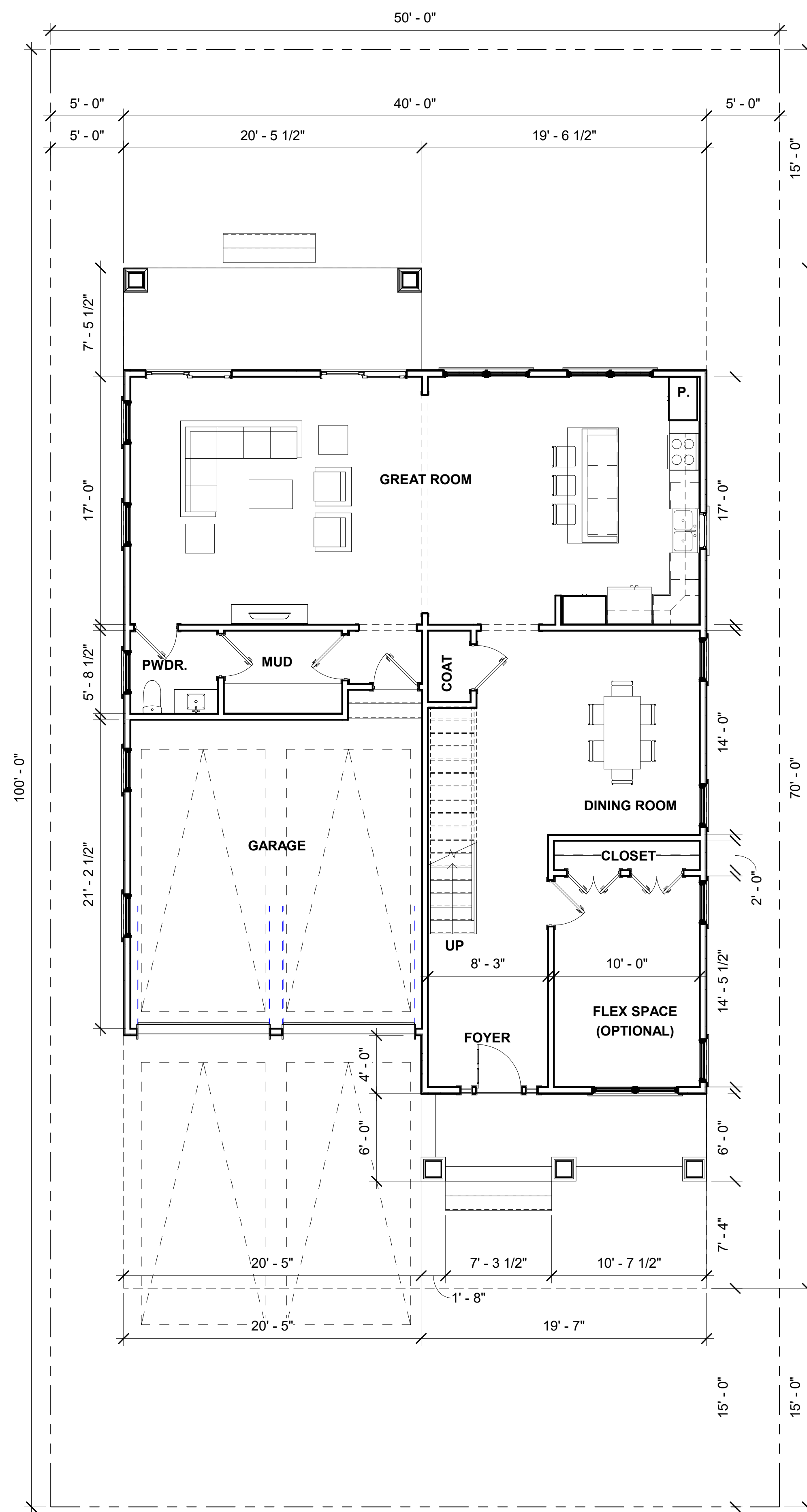
5/4 x 6 DOOR TRIM, TYP.

LAYOUT 4 - OPTION 2

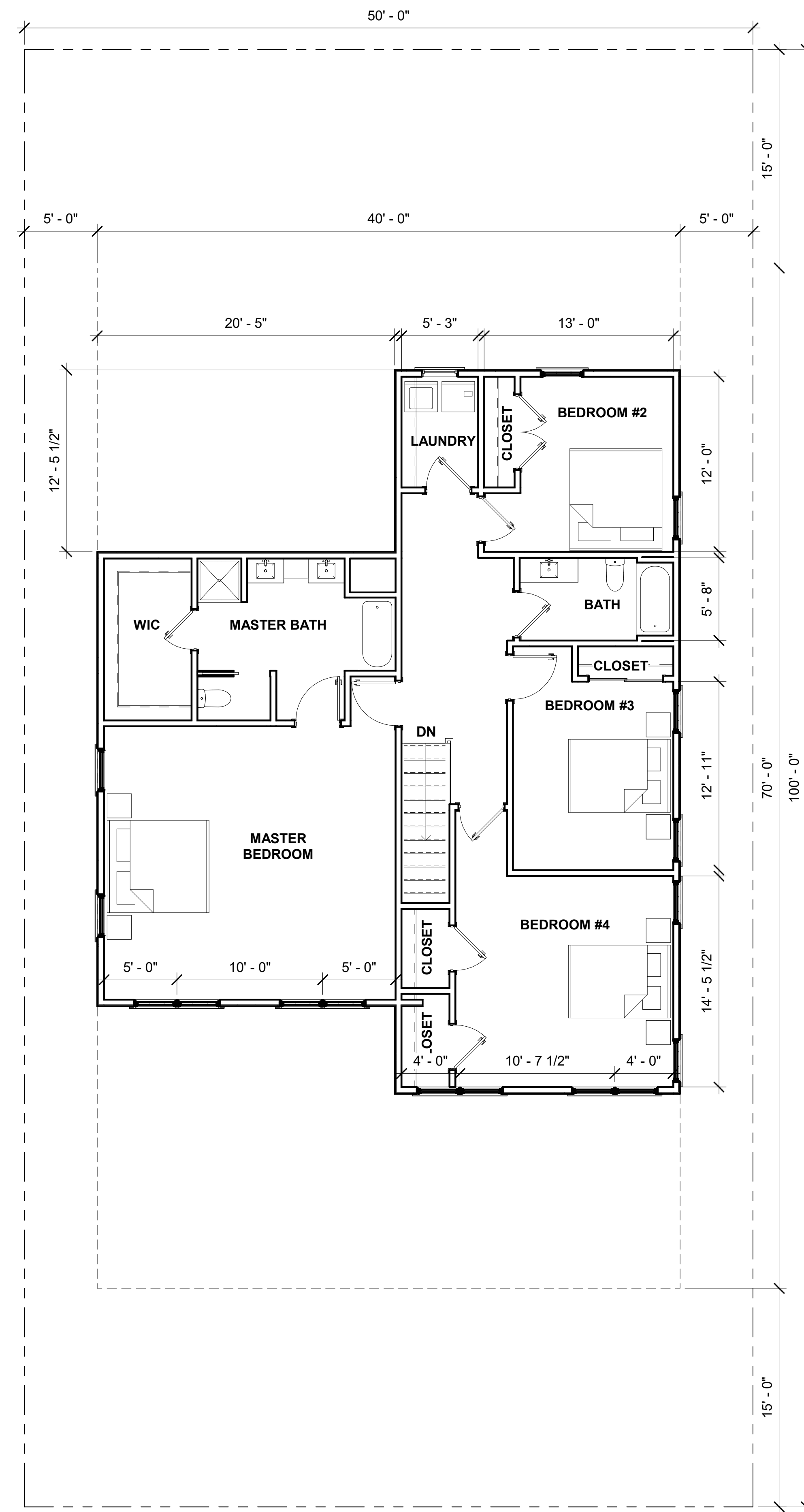
NORTH MALLORY QUAY SINGLE FAMILY HOME VIEW

N. MALLORY, HAMPTON - VA

DATE:04/27/26



① FIRST FLOOR PLAN
3/16" = 1'-0"



② SECOND FLOOR PLAN
3/16" = 1'-0"

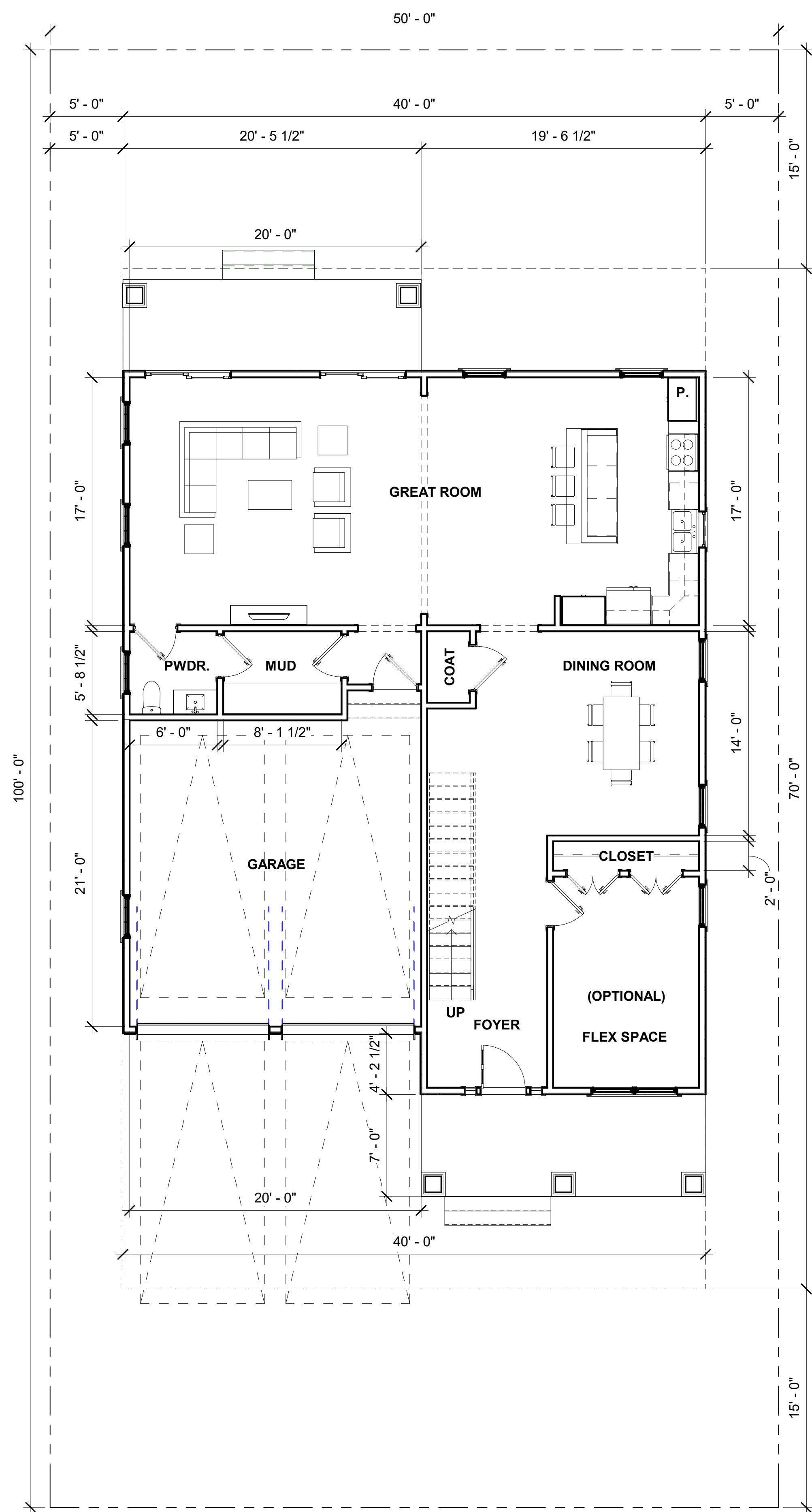
SINGLE FAMILY HOME - LAYOUT 1 - PLANS

NORTH MALLORY QUAY

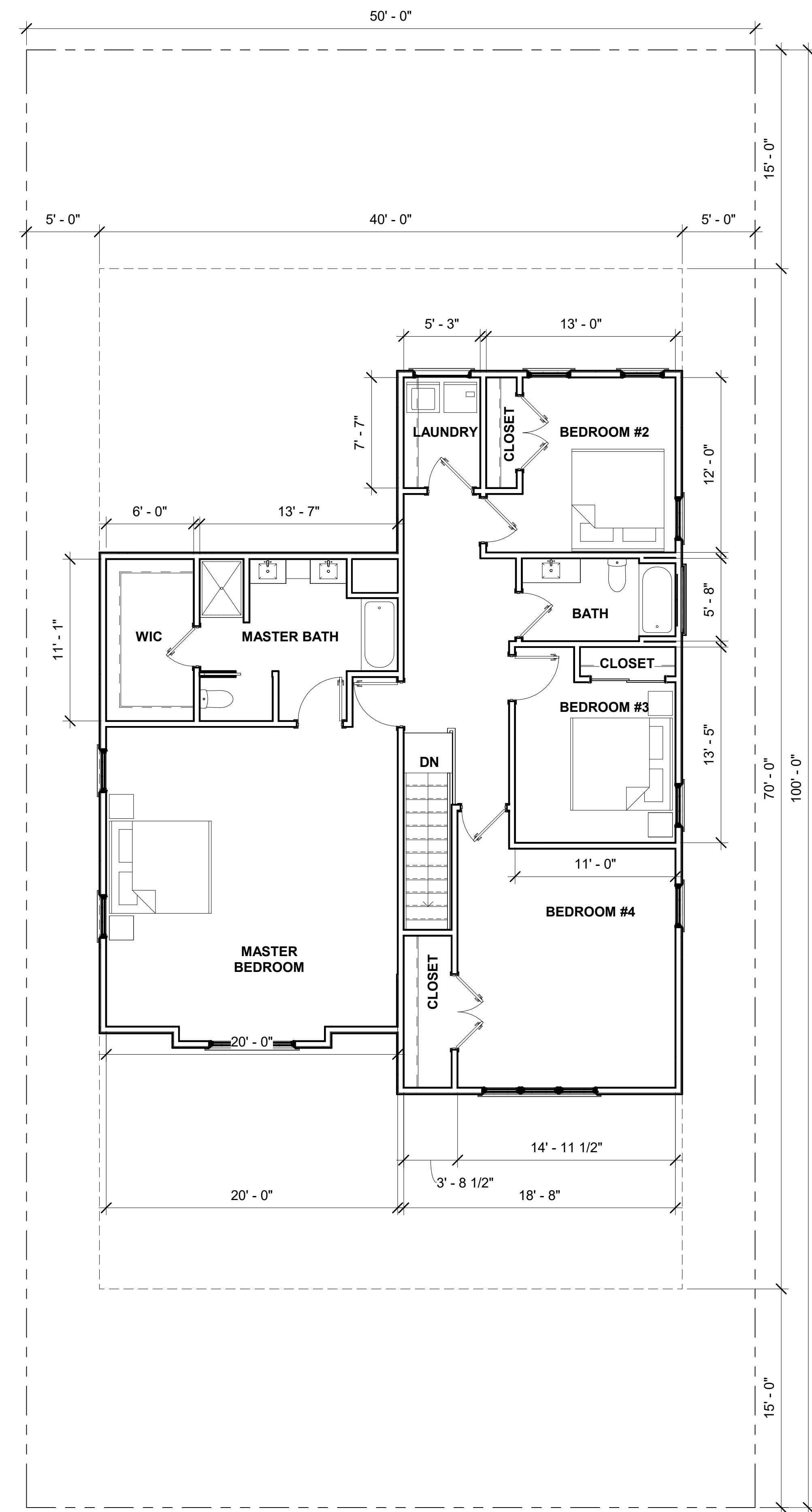
N. MALLORY, HAMPTON - VA

HEATED AREA:	
FIRST FLOOR AREA	- 1,410 SQ. FT.
SECOND FLOOR AREA	- 1,360 SQ. FT.
TOTAL AREA	- 2,770 SQ. FT.





① FIRST FLOOR PLAN
3/16" = 1'-0"



② SECOND FLOOR PLAN
3/16" = 1'-0"

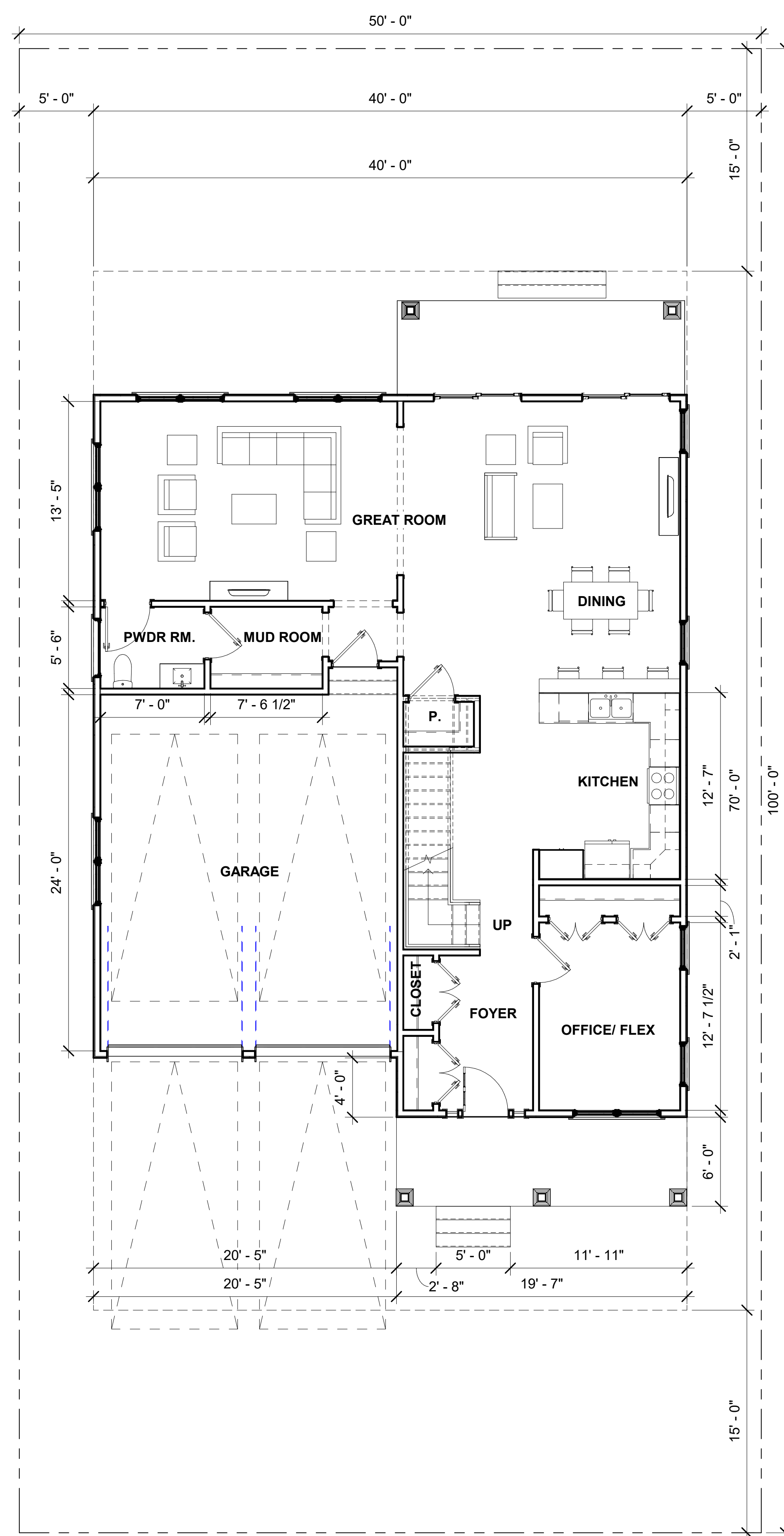
SINGLE FAMILY HOME - LAYOUT 2 - PLANS

NORTH MALLORY QUAY

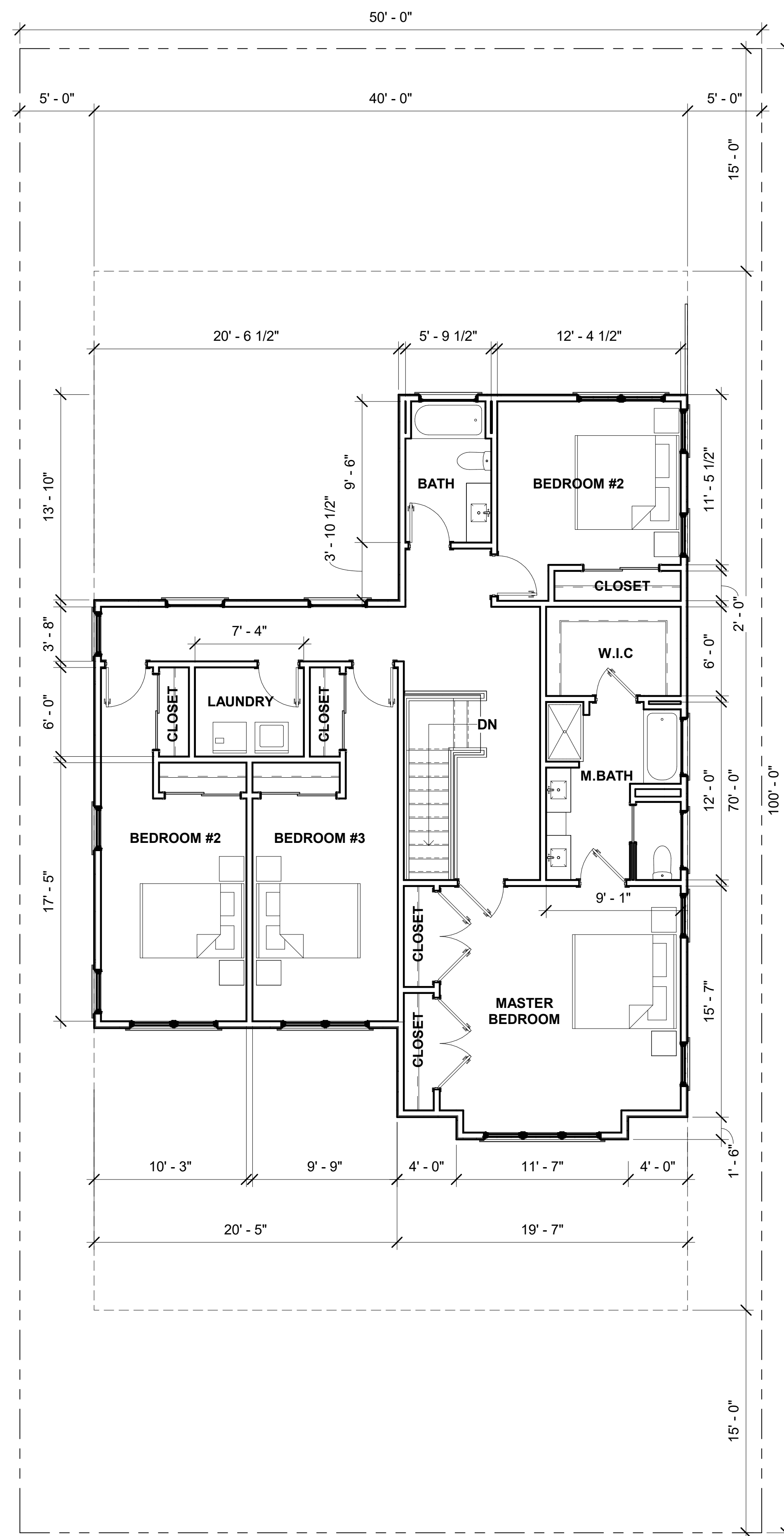
N. MALLORY, HAMPTON - VA

HEATED AREA:	
FIRST FLOOR AREA	- 1,400 SQ. FT.
SECOND FLOOR AREA	- 1,370 SQ. FT.
TOTAL AREA	- 2,770 SQ. FT.





① FIRST FLOOR PLAN
3/16" = 1'-0"



② SECOND FLOOR PLAN
3/16" = 1'-0"

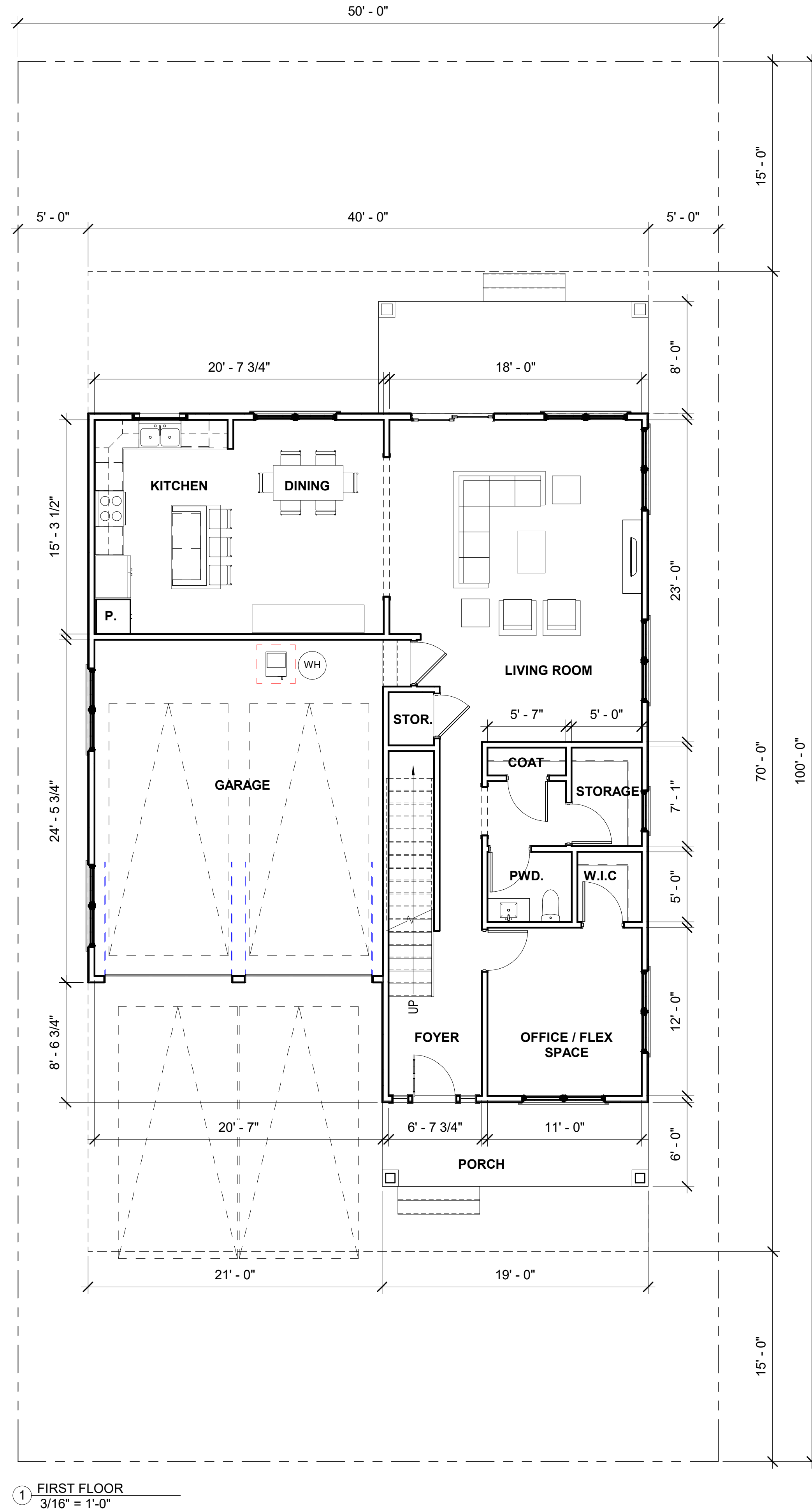
SINGLE FAMILY HOME - LAYOUT 3 - PLANS

NORTH MALLORY QUAY

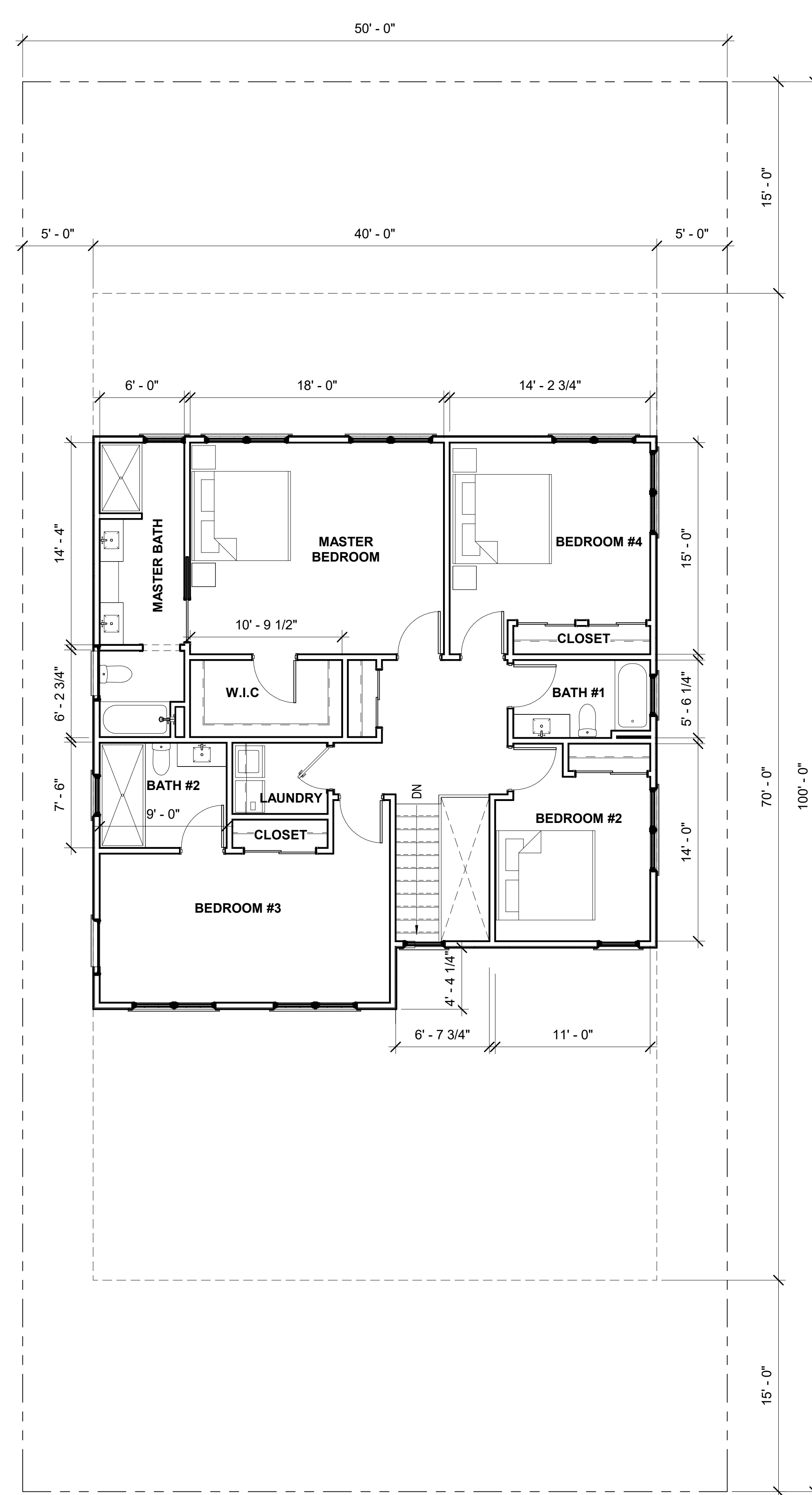
N. MALLORY, HAMPTON - VA

HEATED AREA:	
FIRST FLOOR AREA	- 1,240 SQ. FT.
SECOND FLOOR AREA	- 1,440 SQ. FT.
TOTAL AREA	- 2,680 SQ. FT.





① FIRST FLOOR
3/16" = 1'-0"



② SECOND FLOOR
3/16" = 1'-0"

SINGLE FAMILY HOME - LAYOUT 4 - PLANS

NORTH MALLORY QUAY

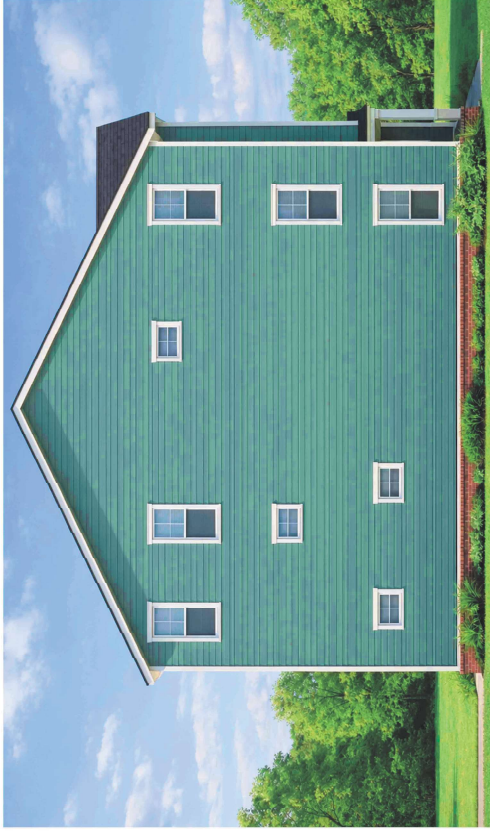
N. MALLORY, HAMPTON - VA

HEATED AREA:	
FIRST FLOOR AREA	- 1,280 SQ. FT.
SECOND FLOOR AREA	- 1,300 SQ. FT.
TOTAL AREA	- 2,580 SQ. FT.





SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION



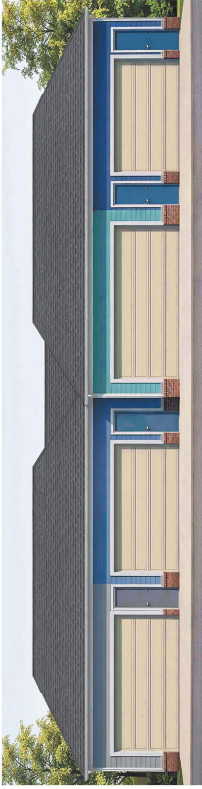
REAR ELEVATION

TYPICAL 3-STORY

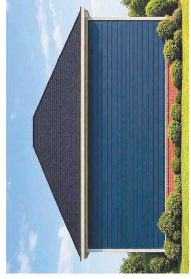
NORTH MALLORY QUAY TOWNHOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/2026



ALLEYWAY ELEVATION



SIDE ELEVATION



YARD FACING ELEVATION



SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION

TYPICAL 2-STORY

NORTH MALLORY QUAY TOWNHOME ELEVATIONS

N. MALLORY, HAMPTON - VA

DATE: 04/27/2026



REAR ELEVATION

ARCHITECTURAL 30-YEAR SHINGLES

5/4 x 12 SOFFIT TRIM, TYP.

5/4 x 10 FASCIA/RAKE BOARD, TYP.

5/4 x 8 FRIEZE BOARD, TYP.

5/4 x 8 WINDOW HEAD TRIM, TYP.

5/4 x 6 WINDOW JAMB TRIM, TYP.

5/4 x 6 CORNER BOARD, TYP.

LAP SIDING

LOW-E VINYL WINDOWS
EARTH-CRAFT RATED

5/4 x 2 WINDOW SILL TRIM, TYP.

10" COLUMN

5/4 x 6 DOOR TRIM, TYP.

FIBERGLASS INSULATED
FRONT DOORS

FULL FACE BRICK BASE

TYPICAL 3-STORY

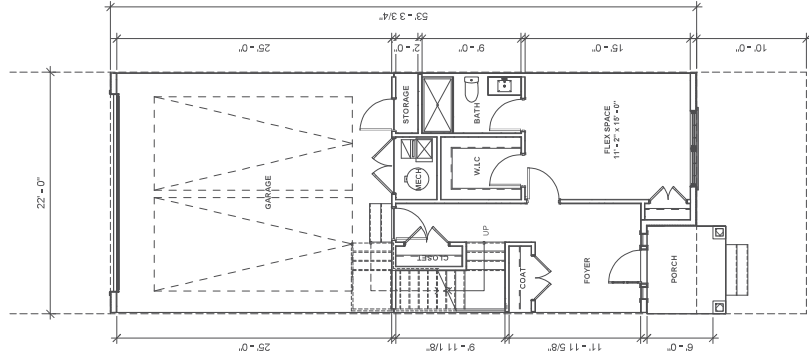
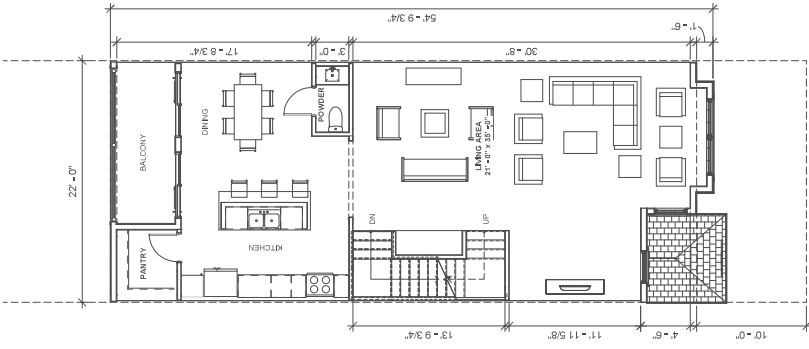
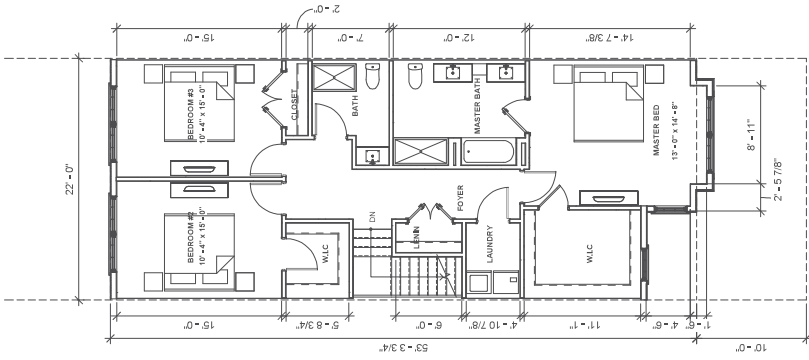
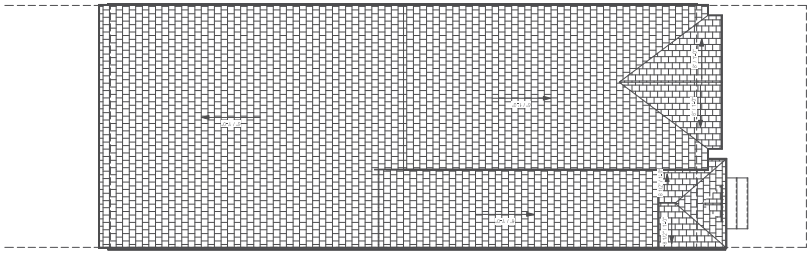
NORTH MALLORY QUAY VIEW

N. MALLORY, HAMPTON - VA

DATE: 04/27/26

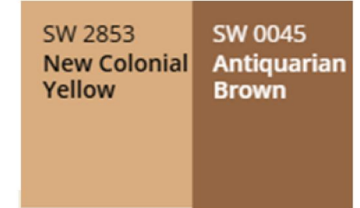
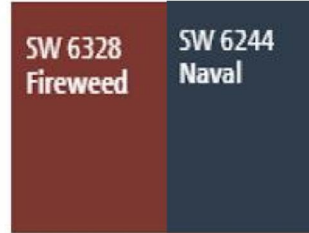


HEATED AREA:	550 SQ. FT.
FIRST FLOOR AREA -	1,040 SQ. FT.
SECOND FLOOR AREA-	1,065 SQ. FT.
TOTAL AREA-	2,655 SQ. FT.



TYPICAL 3-STORY
NORTH MALLORY QUAY TOWNHOME PLANS
 N. MALLORY, HAMPTON - VA
 DATE: 04/27/26

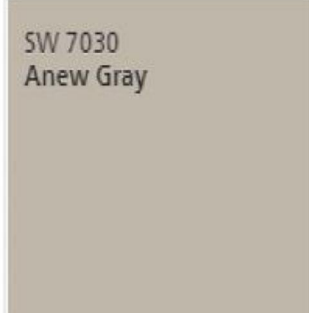
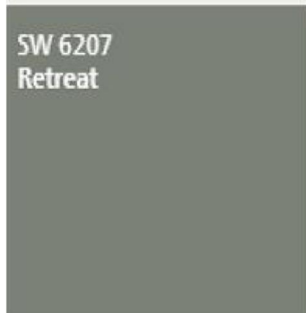
DOOR &
ACCENTS



TRIM



BODY



A

B

C

D

POTENTIAL HISTORICAL COLOR COMBINATIONS FOR EXTERIORS (FOR BOTH SINGLE-FAMILY AND TOWNHOMES)