



Complete this application in its entirety and submit pages 4 and 5 along with the required materials (including any required supplements) as listed on page 2 to the address below:

City of Hampton Community Development Department, Planning Division 22 Lincoln Street, 5th Floor Hampton, Virginia 23669 OFFICE USE ONLY Date Received:

Received 12/11/2020 by Allison Eichele

Case Number: UP 20-00008 _

	1. PROPERTY INFORMATION
	Address or Location 115 - 117 Mallony St. LRSN 12001405 Zoning District PH - 1
	Proposed Land Use Pecreution (Private Club)
	The proposed use will be in: ☐ an existing building ☐ a new addition ☐ a new building
	2. PROPERTY OWNER INFORMATION (an individual or a legal entity may be listed as owner)
	Owner's Name PHOEBUS POST 48 AMERICAN LEGION, INCORPORATED
	Address POBOX 3449 City HAMPTON State VA Zip 23663
	Phone 757-723-0202 Email FRBUS 42 WERIZON, NET
X	3. APPLICANT INFORMATION (if different from owner)
	Applicant's Name
	Address
	Phone Email
	4. APPLICANT AGENT INFORMATION (if different from applicant)
	Agent's Name William S. Felt, PE Land tech Resources, Inc.
	Address 3925 Midlands Rd. City Williams have State VA Zip 23188
	Phone 757-565-1677 x 203 Email william @ landtechresources, com



5. CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the property owner is **not** an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. as specified in Step 2 above.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

page if ne	cessarv):	5.720	ve(s) of the legal entity (attach additional
Name of L			RICAN LEGION, INCORPORATED
Signed by	Name (printed) No.	Sett mioi	
			, Its (title) TREASURER
	Name (printed)		, Its (title)
	Signature		Date
"I hereby s my full kno inspection. Name(s), s	submit that I am the fee-simple whedge and consent. I author The information contained is signature(s), and date(s) of	ty owner is an individual or in this application is accurate and owner(s) (attach additional pag	read this application and it is submitted with s to have access to this property for correct to the best of my knowledge." e if necessary):
			Date
Name (pri	nted)		Date
		OFFICE USE ONLY	
	Application Form	☐ Narrative Statement	☐ Supplemental Form (if required)
Г	Application Fee	☐ Survey Plat	☐ Additional materials (if required)

AFFECTED PARCEL OWNER CERTIFICATION

Manager Int.

(A) CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the properly owner is not an individual but rather a legal entity such as a corporation, Irust, LLC, partnership, diocese, etc. in pursuant to Virginia Code section 15.2-2258.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this properly. I have read this application and the proposed site/development plan and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name (printed) Signature DR USE BY DSC PERSONNEL ONLY: pplication Number: SP20	Date Date Date Received:
	LRSNDate
	LRSN
	Date
Signature	LRSN
Name (printed)	
Name(s), signature(s), and date(s) of owner(s) (at	tach additional page it necessary):
"I hereby submit that I am the fee-simple owner or proposed site/development plan and it is submitted	of this property. I have read this application and the led with my full knowledge and consent. I authorize
(B) CERTIFICATION FOR INDIVIDUAL PROPERTY Complete this section only if the property owner is	s an individual or individuals.
Signature Thomas D. Ame	Date 9-29-2020
Name (printed) Thomas D. Sm	th Its (title) Corporation Member
Signature_ Edwin C. Starl	mg
Name (printed) Edwin C. Stanle	y Its (little) Corporation Tres
Signature www. W. Schmidt	Date 9-29-2020
Name (printed) Anton A. Sch	midt . Its (Iitle) Corporation Pres
Signed by:	
Name of Legal Entity American Rain	n Post48 Hampton LRSN_
additional page if necessary):	Control of the Contro



THE AMERICAN LEGION

Aug. 1, 2020

I, Anton A. Schmidt, in my official capacity herby certify: That I am President to American Legion Phoebus Post No.48, Tax ID # 54-6072554. A corporation duly organized and existing under the laws of the State / Commonwealth of Virginia: That Edwin C. Stanley who is Treasurer of this corporation is hereby authorized to buy, sell, and assign and transfer the following:

and to execute any and all instruments necessary, proper or desirable for the purpose, further that any past action in accordance herewith hereby ratified and confirmed.

I further certify that the foregoing is not contrary to any provision in the charter or bylaws of this corporation, that Anton A Schmidt now is President of this corporation, and that I have been duly authorized to make this certificate on behalf of this corporation.

A.A. Schmidt Certifying Officer

County/City of Hampton
Commonwealth/State of Virginia

A. A. SChmidt (name) of person speking acknowledgement)

Notary Public
My Commission Expires: 12/31/505

NOTARY
PUBLIC
REG # 7838193

MY COMMISSION
EXPIRES
12/31/2023

The American Legion is the nation's largest war time veterans service organization committed to mentoring youth, and sponsorship of wholesome programs in our community, advocating patriotism and honor, promoting strong national security, and continued devotion to our fellow service members and veterans. The AmericanLegion is a nonprofit organization, we have no employees, and are open to members of the military, veterans and their immediate family. Post 48 (Phoebus Post) has been located in the Phoebus section in the city of Hampton, Va since the 1950's. We have one monthly meeting, and some random committee meetings. We do volunteer work at the VA Medical Center in Hampton, the area schools, and in the community. In the past, in our old post home we allowed civic organizations to utilize our facility for community meetings, and allowed St. Mary's school to use it as an evacuation site. We have approximately 35 active members including the Legion and Auxiliary. Our building may be used for social gatherings for club members for Christmas, and maybe rented out to members for small parties. There are no plans for live music.

For God and Country,

Julan (Selmis)

Anton A. Schmidt



FINAL RESUBMITTAL

March 4, 2021

To: Allison Eichele Jackura

Senior Planner City of Hampton

Community Development Services Center

22 Lincoln Street Hampton, VA 23669

Re: Special Use Permit – Applicant Statement Resubmittal #UP20-00008

American Legion Post 48 Zoning Design Standards LRSN(s) 12001405/12001406

Phoebus Post 48 American Legion, Inc. kindly requests your consideration of this application for a Special Use Permit for the alteration to development standards for the above referenced site.

These alterations are in regard to the following Zoning requests:

- 1. For buildings with ground floor commercial space, there shall be a maximum front setback of zero feet unless one of the following optional pedestrian amenities is provided in accordance with the City of Hampton Pedestrian Amenity Design Standards, in which case the maximum shall be 15 feet. The site plan has been revised to show a planter that extends from the building to the front property line. (copy attached) A Use Permit is requested for this alteration to the PH-1 development standards that are outlined in Sec. 8-62.(3). [ZO Sec. 8-62.(3)(c)(i)]
 - a. Court Yard is provided.
 - b. Outdoor Seating Area is not desired by the applicant. However, per your recommendation, we will provide an additional paver patio with a bench on the Lancer Street side yard.

The submitted plan provides for a small court yard entrance at the front of the building. The Building does not require "Walk-in" commercial use by the public. It is a "Membership" organization and only those members or invited guests would use the facility.

181 Herman Melville Avenue

Newport News, VA 23606

Phone: 757-599-1212

Fax: 757-599-4555

mike@mha-pc.com



- 2. Side, adjacent to a public right-of-way. For buildings with ground floor commercial uses, there shall be a maximum setback of 0 feet unless one of the following optional pedestrian amenities is provided in accordance with the City of Hampton Pedestrian Amenity Design Standards, in which case the maximum shall be 15 feet. [ZO Sec. 8-62.(3)(c)(ii)]
 - a. Court Yard on the Lancer Street side is not feasible.
 - b. Outdoor Seating Area on the Lancer Street side has been limited to one bench on the enlarged paver patio.

The submitted plan shows the building as far over as possible without causing interference with the existing power lines that run along the public right-of-way.

3. The maximum width of a building with ground floor commercial uses shall be 50 feet. Currently the building measures 53'-8" feet across – Please update the building plans to either reflect this standard or seek the Use Permit for any alterations to the PH-1 development standards. [ZO Sec. 8-62.(3)(d)(i)]

(See item 4)

4. A minimum of 90 percent of the front setback line across the entire parcel must be occupied by the building façade, which has occupiable, wholly enclosed space directly behind and connected to it. I understand this comment has led to some confusion during the site plan review process as it contradicts the previous requirement. The Use Permit will need to be sought in order to construct a building that can meet both standards. [ZO Sec. 8-62.(3)(e)(i)]

With the site width being 65.16', the minimum 90% requirement would mean the building would need to be 0ver 58' wide at the setback line. Since this contradicts the maximum 50' requirement, and due to the interference of the existing power lines running along the western side of the building to the front, we are requesting that this requirement be waived and the current proposed building width be allowed.

5. The primary entrance to this building shall directly face Mallory Street. The screening of the primary entrance blocks it from view of Mallory Street. Please amend the building plans to reflect this standard or seek the Use Permit. [ZO Sec. 8-62.(3)(e)(ii)(aa) and (bb)]

The submitted plan provides for a small court yard entrance at the front of the building with the door sitting within a small alcove area. The site is not designed for retail use and is unique to the surrounding uses. The Building does not require "Walk-in" commercial use by the public. It is a "Membership" organization and only those members or invited guests



would use the facility. We have created a large opening in the front courtyard wall to provide a line of sight to the main entrance door, which is glass with large sidelights and transoms.

6. Where ground floor commercial space fronts on a public right-of-way, a minimum of 40 percent of the first floor building façade containing the primary entrance shall be comprised of glass windows or glass doors that allow views at least 4 feet into the interior building space. It may be possible that this standard is being met, but our office will need to see a scaled, architectural elevation of the building in order to confirm this. Please provide the scaled, architectural elevations. [ZO Sec. 8-62.(3)(e)(iv)(aa)]

The revised front elevation is attached. The larger windows and glass entry door now exceed 40% of the first floor wall area. The calculations are listed on Sheet T-1.

BUILDING DESIGN:

The Designer agrees that large portions of blank walls should be avoided on both Mallory and Lancer Streets. Therefore windows and pedestrian amenities (See below), have been added to the Mallory St. facade. Reconfiguration of doors, a planter/landscaping and a gable roof with a circle head window have been added to the Lancer St. elevation These revisions to the design provide an articulated facade facing both streets. The building should provide a transition between the "Urban Core" of Mellen Street and the former residential area of South Mallory St., which is now parking lots, a service station, fast food eateries, a convenience store and apartments. Exterior materials for the building will include brick and colors to comply with the Phoebus (PH1) Guide Lines, and will be submitted for approval.

PEDESTRIAN AMENITY DESIGN:

The Entrance Court is accessible from both Mallory Street and Lancer Street. The area consists of an area approximately 25 ft x 15 ft . Concrete pavers with contrasting color border and a large planter define the separation between the court and the city sidewalk. Handicapped access to the building is achieved with a gently sloped entrance court up to the covered entry. The paved area along with bench seating and another planter will complete the pedestrian amenities facing Lancer Street.

Based on this, we request the requirements be waived.

In response to your letter dated December 22, 2020 to William Felts at LandTech:



A revised floor plan along with updated door and window schedules are included in the attached set of architectural drawings labeled Revision #2.

Documentation that the representatives signing the application have legal power of attorney is provided by the "Certification for property owners" and the "Certification of Post 48 President", both attached.

The Plat of Lot 15 and 17 is attached and will be used to vacate the property line.

The \$650 application fee has been mailed and received.

The application with a "wet signature" will be delivered prior to the public hearing.

The fenestration and primary entrance requirements have been addressed as follows:

The Building does not require "Walk-in" commercial use by the public. It is a "Membership" organization and only those members or invited guests would use the facility. Windows have been added to the Mallory St. facade to comply with the Guidelines. The exterior design has been revised to resemble Port Warwick and the "Main Street Form" on page 29 of the Master Plan.

The blank wall has been penetrated with two large openings, larger glass areas and with signage and plantings facing both streets. A dormer with a window has been added facing Lancer Street.

Paver type has been changed inside the property line on Mallory Street to address the "surface" category. Two large raised planters have been added facing both streets to address the "fixtures" category.

The total area of the building is 4279 square feet. On-site parking is not required.

The use and expected activities for the building is addressed in the attached owner's narrative.

We appreciate your consideration to approve this Special Use Permit request in support of the items listed above.

Sincerely,

C. Michael Henry, Sr. AlA

On behalf of

Phoebus Post 48 American Legion, Inc.

! Muchael benny, St. AIA

Copy: Mike Hayes, Senior City Planner

Attachments:
Revision 2 Architectural Drawings
Revised Site Plan
Plat for Lots 15 and 17
Certification for property owners
Certification of Post 48 President
Owner's Narrative





HAMPTON, VIRGINIA

SEISMIC CONDITION

15 PSF

ZONE A

MODERATE

12 INCHES

115 MPH (3 SECOND GUST)

MODERATE TO HEAVY

SNOW LOAD

WIND SPEED

90 MIN

20 FT. O.C

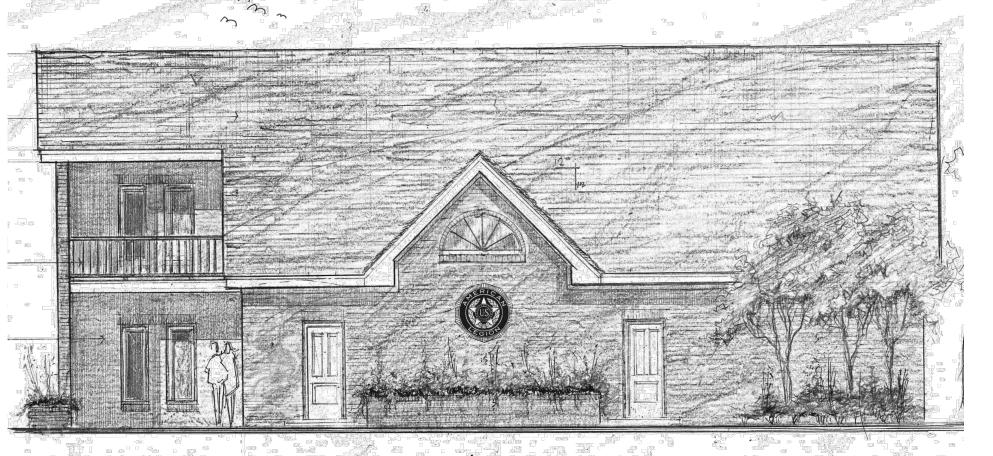
200 FT.

44 INCHES

1-HR

WEATHERING

FROST LINE DEPTH



RIGHT SIDE ELEVATION LANCER STREET.22

PROPOSED BUILDING FOR AMERICAN LEGION POST 48 115 & 117 SOUTH MALLORY STREET, HAMPTON, VIRGINIA

CODE DATA 101.1 APPLICABLE CODE - VIRGINIA BUILDING CODE (VUSBC), 2015 (IBC 2015 WITH AMENDMENTS)

ADDITIONAL CODE REFERENCES:
ACCESSIBILITY GUIDELINES ICC/ANSI A117.1, 2009
THE INTERNATIONAL MECHANICAL CODE (IMC), 2015
THE INTERNATIONAL PLUMBING CODE (IPC), 2015
THE NATIONAL ELECTRICAL CODE (NEC), NFPA 70 2014
THE INTERNATIONAL FIRE CODE (IFC), 2015, AND NFPA-13, 2011
THE INTERNATIONAL ENERGY CONSERVATION CODE 2015

USE GROUP/ OCCUPANCY

USE GROUP: MIXED NON-SEPARATED; B (OFFICES)

A3 (COMMUNITY HALL)

CONSTRUCTION TYPE

TYPE 5B COMBUSTIBLE NOT PROTECTED AND REQUIREMENTS FOR FIRE RESISTIVE ASSEMBLIES FLOOR-CEILING ASSEMBLY 0-HR
EXIT PASSAGEWAY 1-HR

NO ADDITIONAL PROVISIONS COMPLIANCE STATED IN IBC SECTION 704

ALLOWABLE AREA PER FLOOR FOR TYPE 5B (TABLE 506.2)

WITHOUT SPRINKLER SYSTEM: 6,000 SF MAX. FOR EA. FLOOR USE A-3 (COMMUNITY HALL) ACTUAL AREA; 1ST FL 2667 + 2ND FL 1612 = 4,279 GROSS SF

MAXIMUM HEIGHT OF BUILDING 504.3/STORIES 504.4:

A. ALLOWED BY CODE: 40 FEET 2 STORY, B (OFFICES)/ 1 STORY A-3 (COMMUNITY HALL)

B. PROVIDED BY DESIGN: 2 STORY, 25'-0 5/8" FEET TO RIDGE

FIRE RESISTIVE RATING REQUIREMENTS 5B

STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES) (TABLE 601, CONSTRUCTION 5B) 0 HR
BEARING WALLS: MORE THAN 30 FT FROM PROPERTY LINE (TABLE 602)

EXTERIOR 0 HR
INTERIOR 0 HR
NON-BEARING WALLS AND PARTITIONS: MORE THAN 30 FT FROM PROPERTY LINE (TABLE 601)
INTERIOR 0 HR

705.4 FIRE BARRIER RATING
2 HR
715.3 FIRE DOOR RATING AT FIRE BARRIER
DOORS FIRE-RESISTANCE-RATING FOR CORRIDOR
1 HR

CONCEALED SPACES (EAVE, FASCIA & ATTIC)

717.2.1 FIREBLOCKING MATERIAL SHALL BE ½" GYPSUM BOARD.

717.2 FIREBLOCKING SHALL BE PROVIDED IN FASCIA SPACES
AT MAXIMUM INTERVALS OF

717.3 DRAFTSTOPPING MATERIAL SHALL BE ½" GYPSUM BOARD OR ¾" PLYWOOD
717.4 DRAFTSTOPPING IN ATTIC SPACES FOR USE B, 5B CONSTRUCITON
SHALL SEAL AREAS WHERE THEY DO NOT EXCEED 3.000 S.E. (N/A

SHALL SEAL AREAS WHERE THEY DO NOT EXCEED 3,000 S.F. (N/A)

EGRESS

1015.1 MAXIMUM LENGTH OF EXIT ACCESS TRAVEL (B) W/O SPRINKLER
1016.1 FIRE-RESISTANCE-RATING FOR EXIT ACCESS CORRIDOR

CONTRACTOR TO PROVIDE:

1016.2 MINIMUM CORRIDOR WIDTH

1. A PLAN FOR DURING CONSTRUCTION TEMPORARY AND PERMANENT LOCATION IN THE BUILDING OF PORTABLE FIRE EXTINGUISHERS PER IFC 906.

CEILING CLEARANCE OF 2' OR MORE IN ALL AREAS, ESPECIALLY IN STORAGE CLOSETS.
 ENTRANCE SIGN SHOWING USE GROUP AND THE APPROVED OCCUPANCY LOAD.

NOTES TO CONSULTANTS AND SUBCONTRACTORS:

IF THERE ARE PENETRATION THROUGH THE FIRE-RESTANCE-RATED EXIT ACCESS CORRIDOR ASSEMBLIE, THE PROTECTION OF THESE ASSEMBLIES PER IBC 712.3.1.2 SHALL BE SHOWN.

MECHANICAL AND ELECTRICAL CONSULTANTS / SUBCONTRACTORS SHALL PROVIDE IECC MECHANICAL AND ELECTRICAL COMPLIANCE CERTIFICATE PER IBC 1301.1.1

MECH. SYSTEM CAN NOT USE HALLWAYS OR SPACE ABOVE THE HALLWAYS AS RETURN PLENUMS.

OWNER/CONTACT:

AMERICAN LEGION POST 48
SOUTH MALLORY STREET,
HAMPTON, VIRGINIA
Tony Schmidt

SYMBOL DESIGNATIONS



DETAIL NUMBER

SHEET DETAIL IS DRAWN ON

LIVE LOADS

1607.1 UNIFORM LIVE LOADS = 125 PSF MINIMUM

ACCESSIBILITY 60% OF ALL ENTRANCES ARE TO BE ACCESSIBLE.

CABINETS, COUNTERS, AND OTHER MISCELLANEOUS FURNISHINGS SHALL BE DESIGNED AND INSTALLED AT A MAXIMUM HEIGHT OF 34" TO BE ACCESSIBLE, AS REQUIRED BY ANSI A117.1.

SHEET LIST

IN SHEET DESCRIPTION
IN SET #
1 T-1 TITLE SHEET, CODE DATA & SHEET LIST

ARCHITECTURAL DRAWINGS

2 A-1 FIRST FLOOR LIFE SAFETY PLAN
3 A-1.1 SECOND FLOOR LIFE SAFETY PLAN
4 A-1.2 FIRST FLOOR PLAN AND STAIR DETAIL PLAN
5 A-1.3 FIRST FLOOR PLAN AND STAIR DETAIL PLAN
6 A-2 EXTERIOR ELEVATIONS
7 A-3 BUILDING SECTIONS AND DETAILS

7 A-3 BUILDING SECTIONS AND DETAILS
8 A-3.1 BUILDING SECTIONS AND DETAILS

9 A-4 SCHEDULES 10 A-5 CEILING PLANS

STRUCTURAL DRAWINGS

7 SHEETS FROM TAM CONSULTANTS DATED 28 JUL 20

PLUMBING DRAWINGS

4 SHEETS FROM INFINITY DESIGN DATED 01 SEP 20

MECHANICAL DRAWINGS

5 SHEETS FROM INFINITY DESIGN DATED 01 SEP 20

ELECTRICAL DRAWINGS

6 SHEETS FROM TRIAD ENGINEERING DATED 19 AUG 20

MINIMUM REQUIRED GLASS AREA:

FIRST FLOOR OF SOUTH MALLORY STREET ELEVATION 53'-8" WIDE X 10'-0" TALL = 536.7 SF REQUIRED GLASS AREA = 536.7 X 40% = 214.68 SF

GLASS AREA PROVIDED:

TOTAL GLASS AREA PROVIDED = 217.08 SF

WINDOW A: 2'-8" X 6'-0" = 16.02 SF X 6 UNITS = 96.12 SF WINDOW B: 2'-4" X 6'-0" = 13.98 SF X 2 UNITS = 27.96 SF WINDOW D: 2'-0" X 6'-0" = 12.0 SF X 1 UNIT = 12.0 SF ENTRY DOOR, SIDELIGHTS & TRANSOM = 9'-0" X 9'-0" = 81.0 SF ARCHITECT

PHONE (757) 599—121

FAX (757) 599—455

mike@mha—pc.cor

181 Herman Melville Av

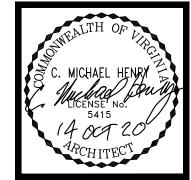
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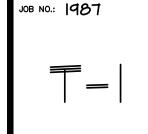
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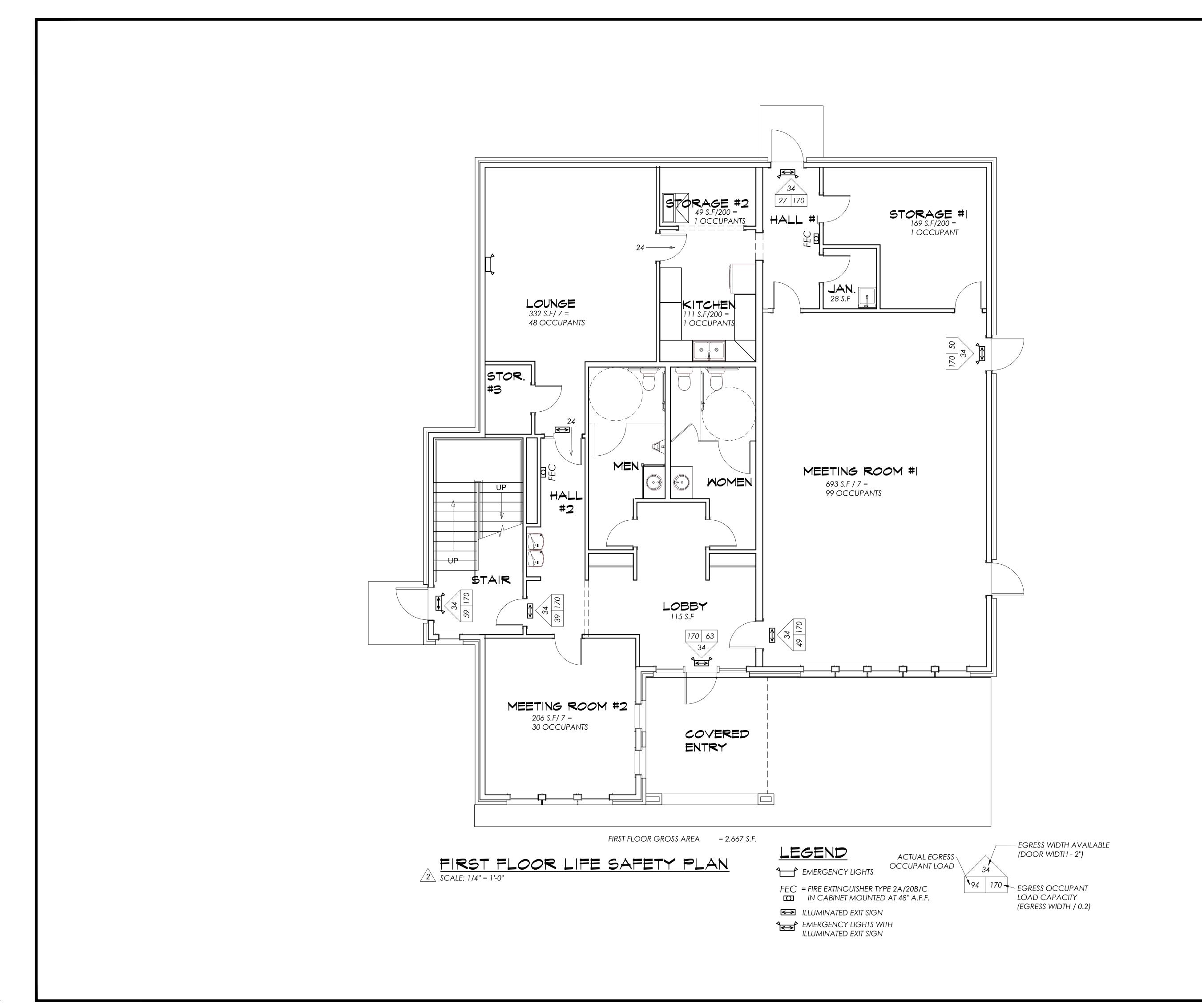
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HENRY

ARCHITECT

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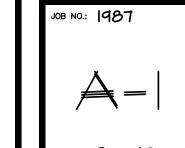
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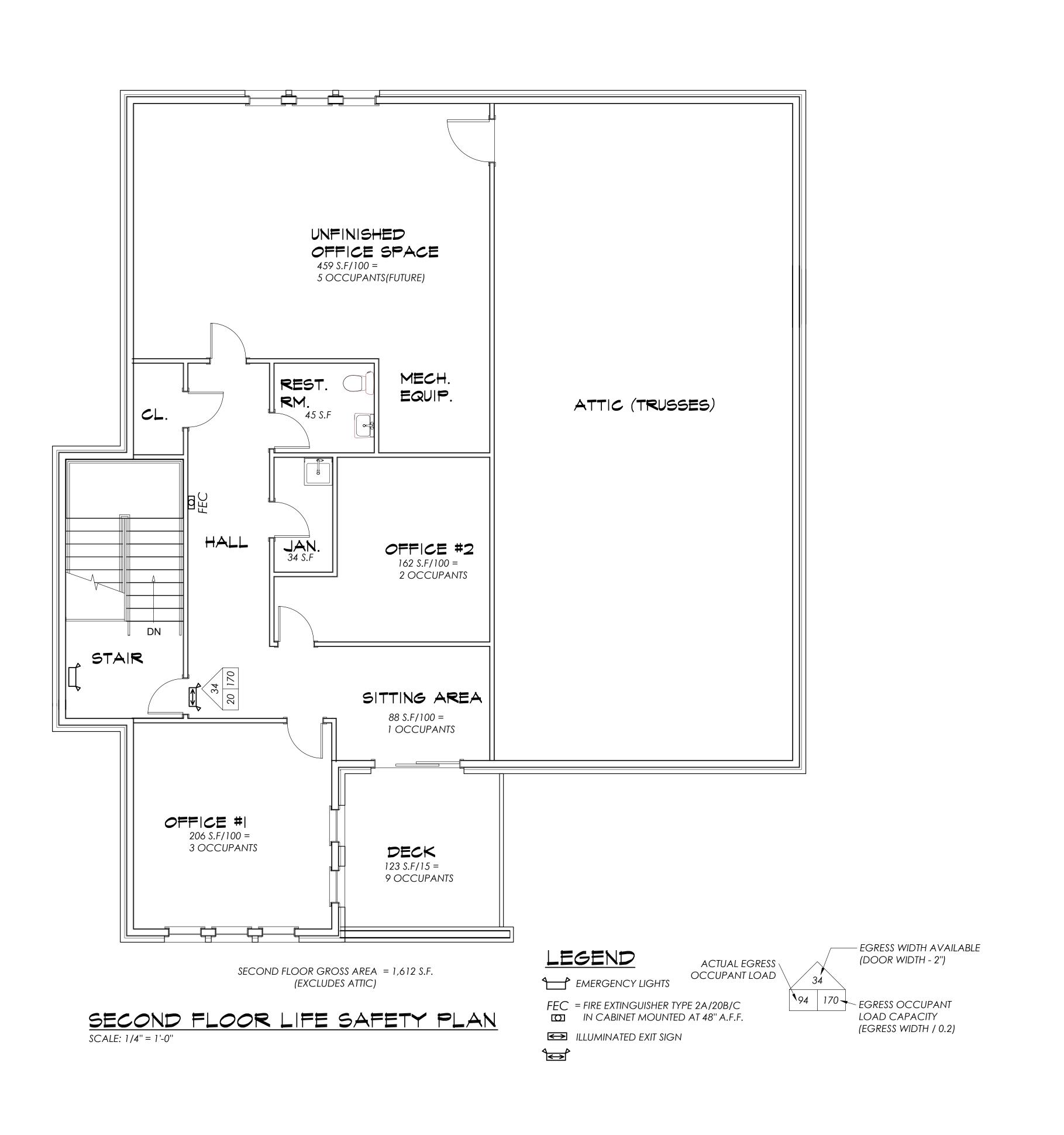
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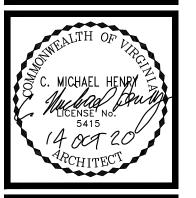
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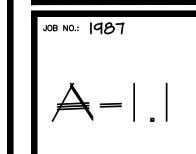
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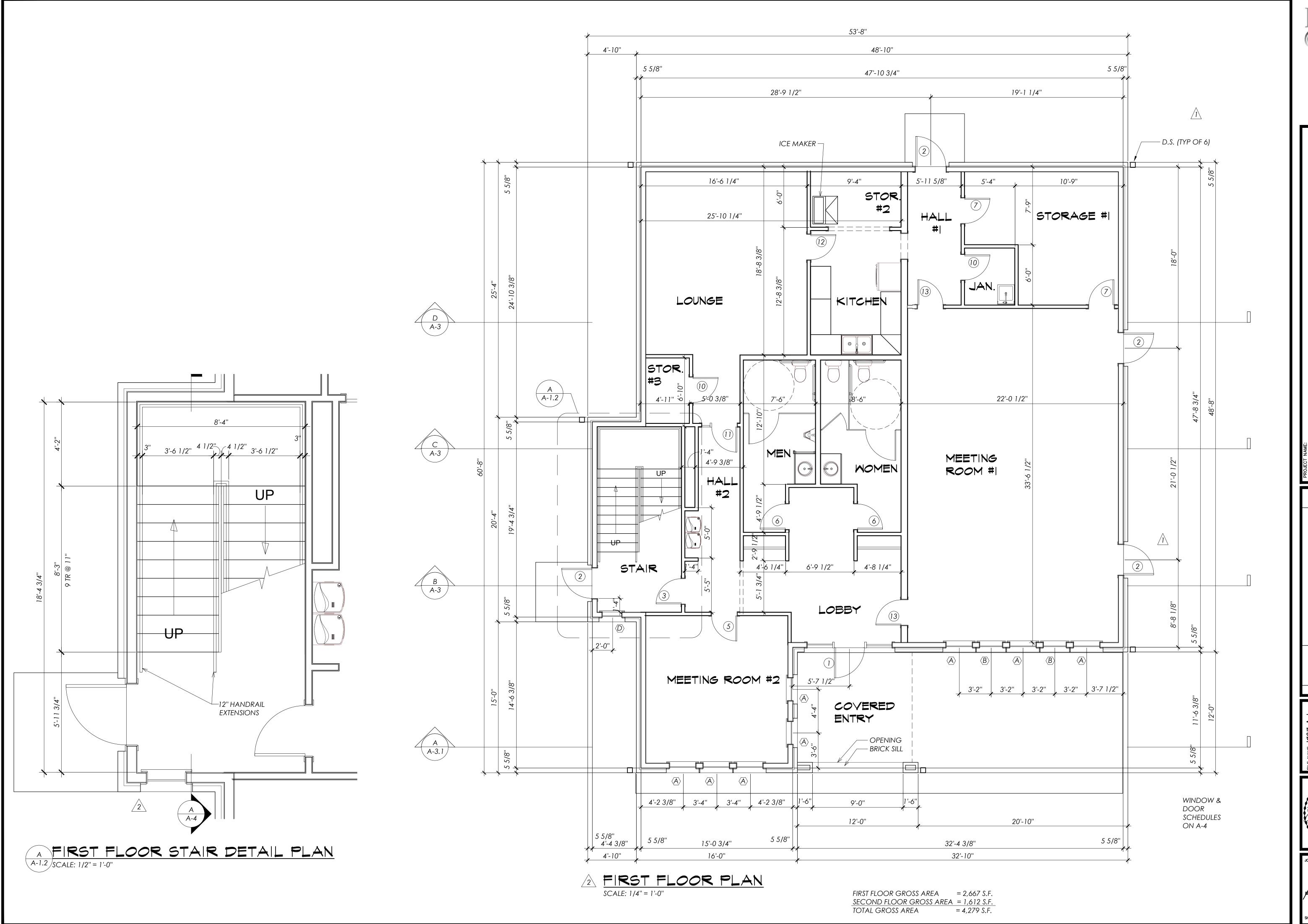
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ARCHITECT

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181 Herman Melville Ave

Port Warwick

PROPOSED BUILDING FOR AMERICAN LEGION FOR IIS # 117 SOUTH MALLORY SHAMPTON, VA

DWG TITE:

PROPOSED BUILDING FOR AMERICAN LEGION FOR HAMPTON, VA

DWG TITE:

PROJECT NAME:

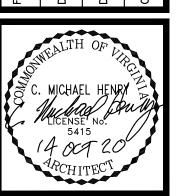
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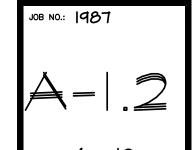
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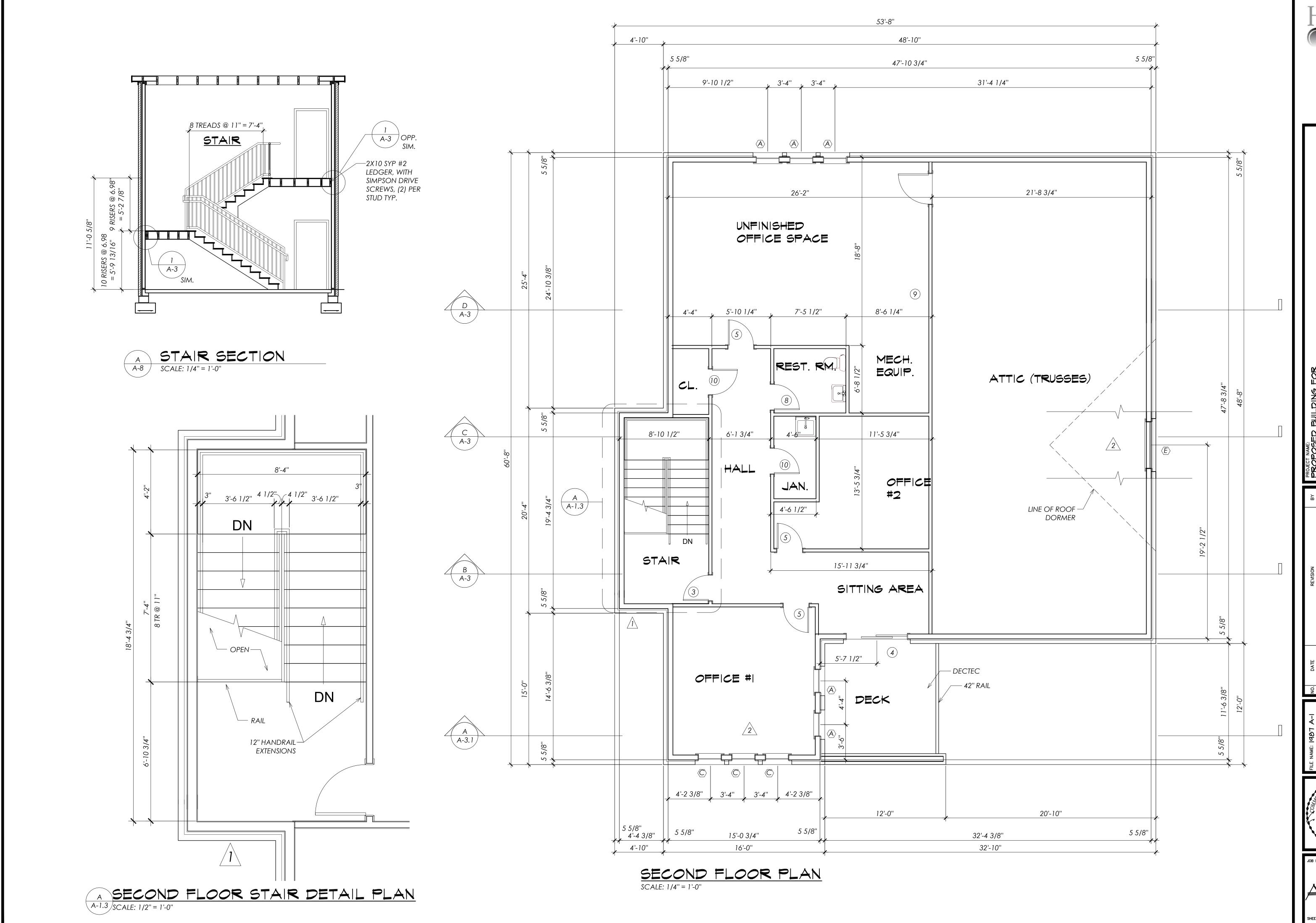
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Michael HENRY ARCHITECT PHONE (757) 599–1212

ARCHITECT

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FAX (757) 599-455

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Port Warwic

Newport News, Va. 2360

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D BUILDING FOR CAN LEGION POST 48 OUTH MALLORY STREET

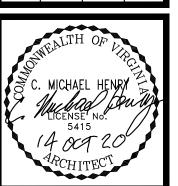
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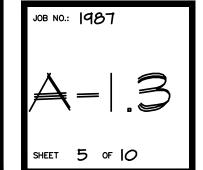
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2 04 MAR 21 USE PERMIT RE-SUBMITTAL

DATE: 14 OCT 20

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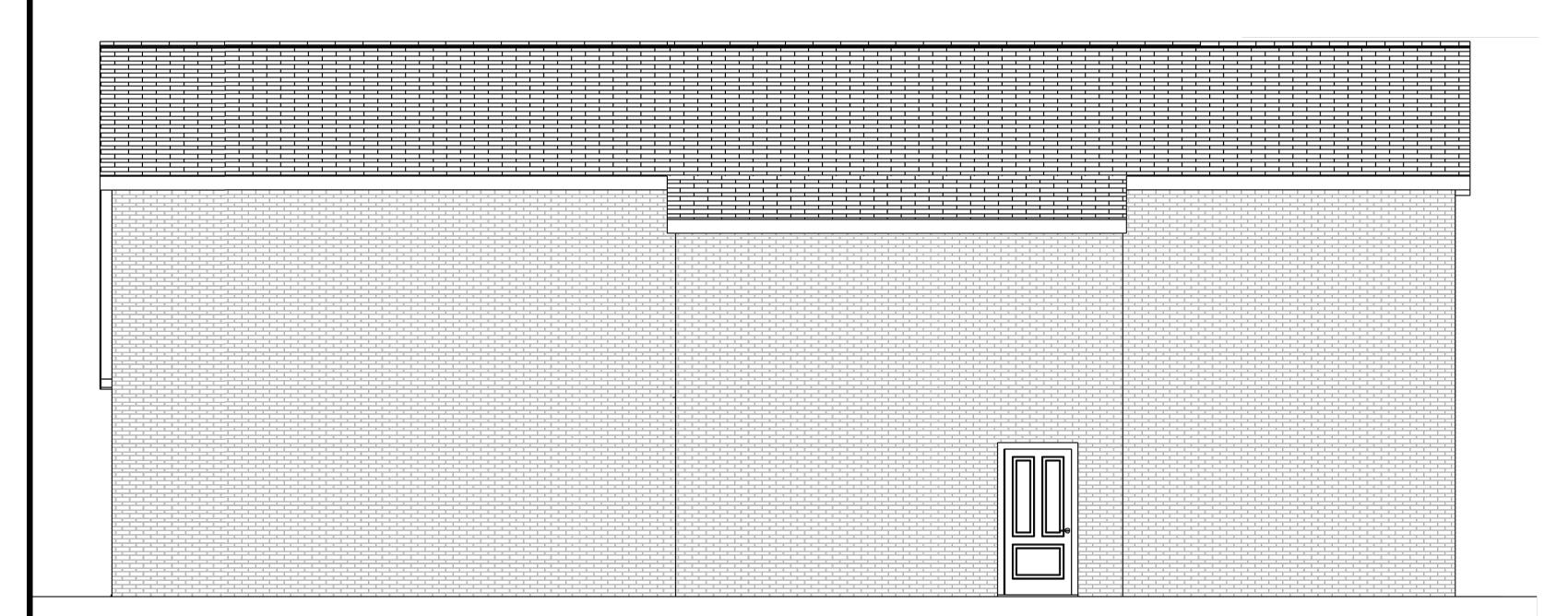




FRONT ELEVATION 2

SCALE: 1/4" = 1'-0"

RIGHTISIDE ELEVATION STREET



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

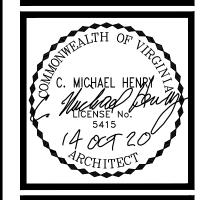


REAR ELEVATION

SCALE: 1/4" = 1'-0"

RIGHT ELEVATION

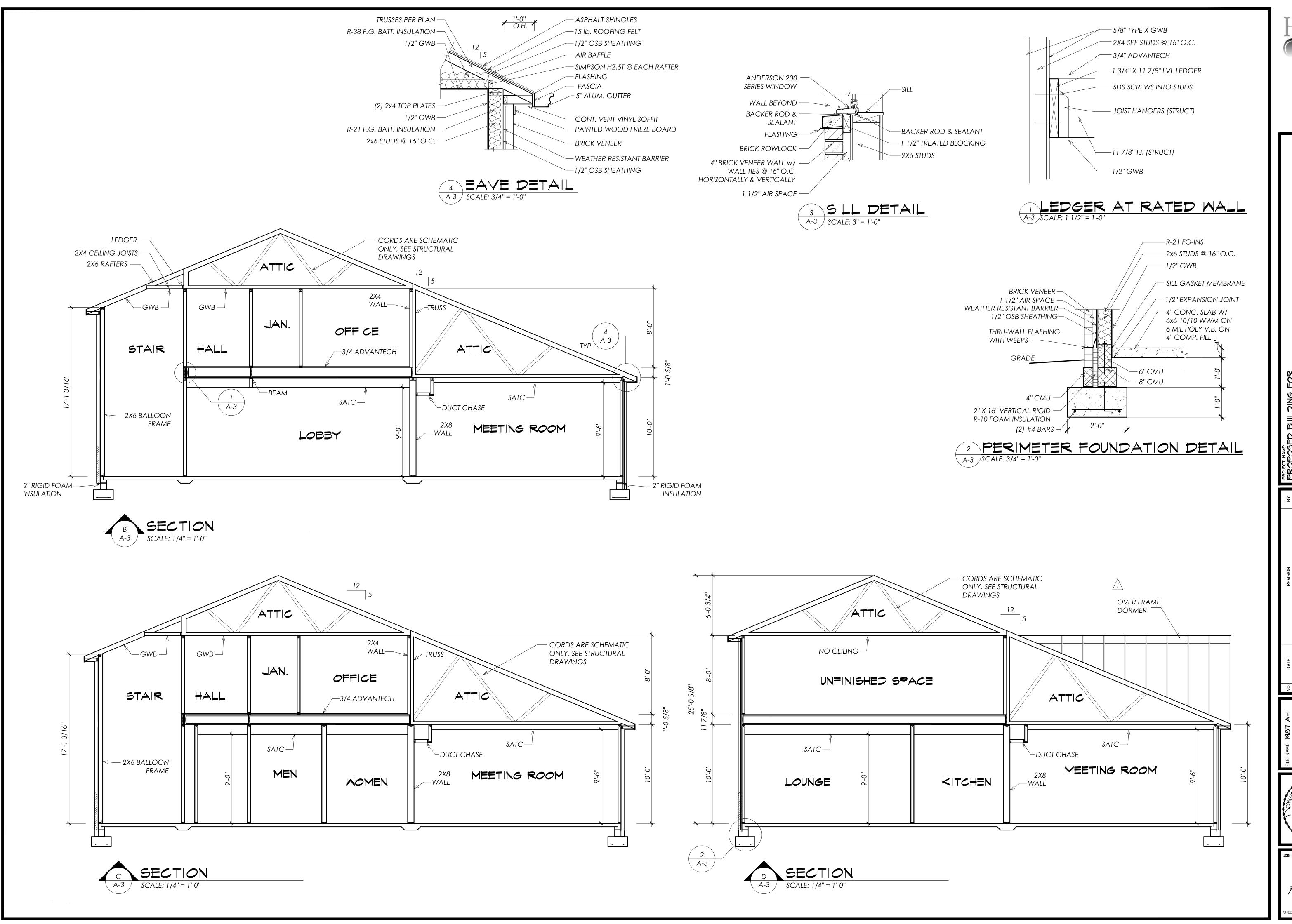
SCALE: 1/4" = 1'-0"





FRONT ELEVATION-SOUTH MALLORY ST.

Exterior Views: Front elevation clarification - submitted by Michael Henry Architect, 3/5/2021, Sheet A-2.1





ARCHITECT

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Newport News, Va. 23606

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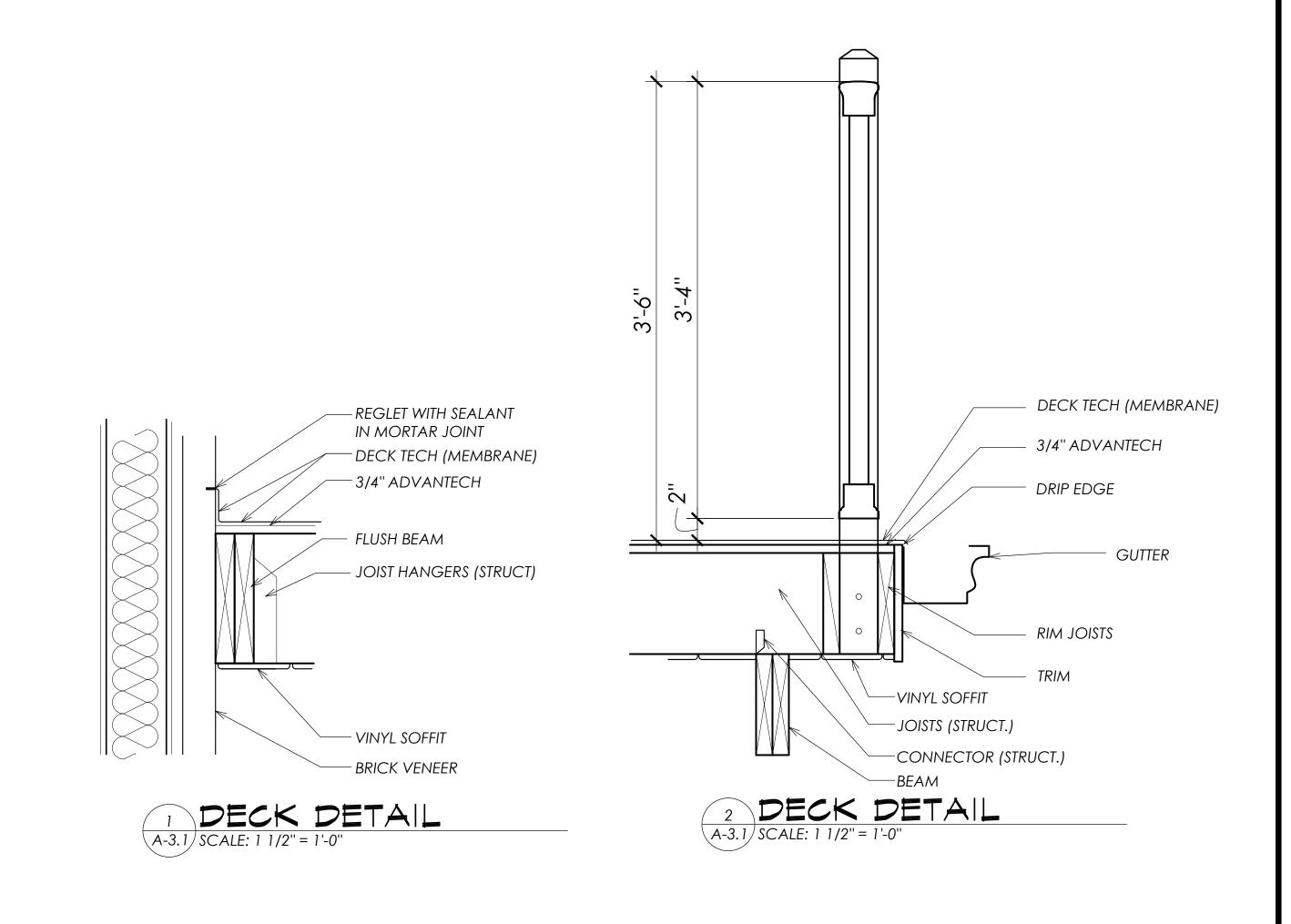
D BUILDING FOR JAN LEGION POST 48 SOUTH MALLORY STREET VA

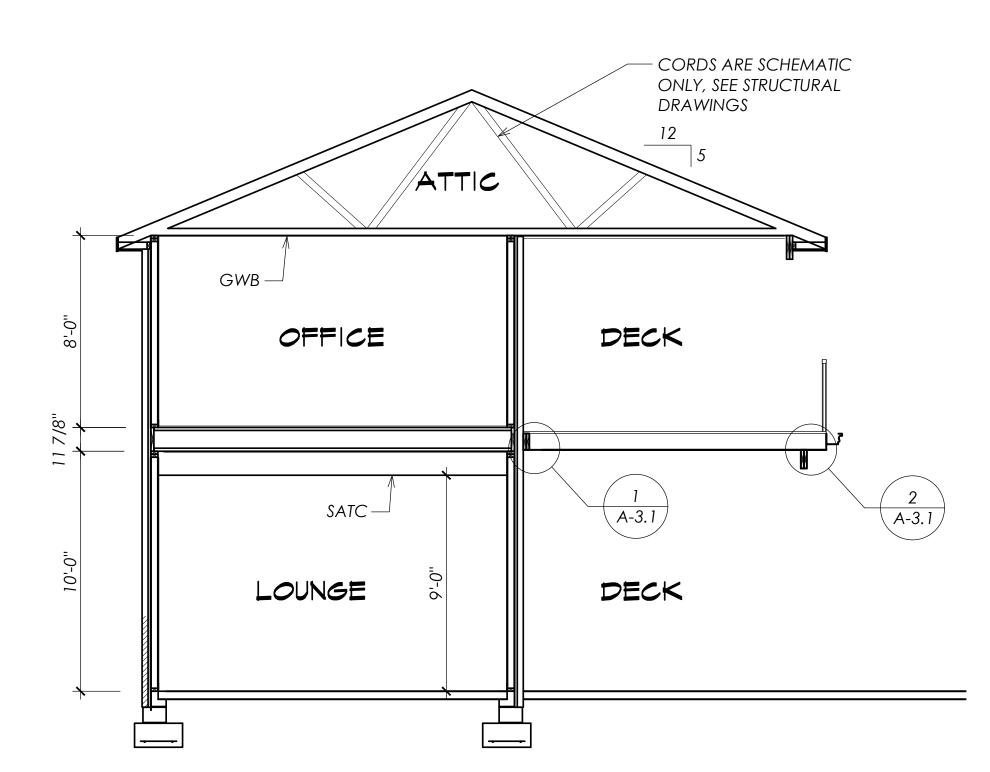
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FAX (757) 599-4555

mike@mha-pc.com

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Port Warwick

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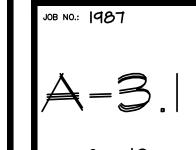
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PROJECT NAME: PROPOSED BUILDING FOR AMERICAN LEGION POST 48 IIS & IIT SOUTH MALLORY STREET HAMPTON, VA DWG TITE: BUILDING SECTIONS AND DETAILS				
ET X=I Q III	ROPOSED BUILDING FOR	Щ Х.Ё	2	

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	DOOR SCHEDULE									
DOOR FRAME FIRE								NOTES		
MARK	WIDTH	HEIGHT	MAT'L	TYPE	THK.	MAT'L	RATING	DESCRIPTION	NOTES	
$\langle 1 \rangle$	3'-0''	7'-0''	SF.	GL	1 3/4"	S.F.		exterior, swing(sl)	1,2,3,4,6,11	
<u>(2)</u>	3'-0''	7'-0''	НМ.	FLUSH	1 3/4"	Н.М.		exterior, swing	2,3,4,6	
3	3'-0''	7'-0''	НМ.	FLUSH	1 3/4"	H.M.	45 min	interior, swing	2,4,5,6	
4	6'-0''	7'-0''	SF.	GL	1 3/4"	S.F.		EXTERIOR, SLIDING	2,9	
(5)	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	H.M.		interior, swing	2,9	
6	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	H.M.		interior, swing	2,6,7	
(7)	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	H.M.	20 MIN.	interior, swing	2,6,10	
(8)	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	H.M.		interior, swing	2,13	
9	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	н.м.		INTERIOR, SWING, ATTIC ACCESS	2,3,8	
(10)	3'-0''	7'-0''	SF.	FLUSH	1 3/4"	SF.		interior, swing	2,9	
(11)	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	н.м.		interior, swing (SL)	2,8,11	
(12)	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	н.м.	20 MIN.	interior, swing	2,6,8	
(13)	3'-0''	7'-0''	SCW.	FLUSH	1 3/4"	Н.М.		INTERIOR, SWING	2,4	

NOTE 1: STOREFRONT DOORS SHALL HAVE 10" HIGH BOTTOM RAIL

NOTE 2: ALL DOOR HANDLES, PULLS, LATCHES AND LOCKS SHALL BE INSTALLED AT 36" A.F.F. PER 1008.1.8.2

NOTE 3: PROVIDE WEATHER STRIPPING AND ADA THRESHOLD

NOTE 4: PROVIDE PANIC/EGRESS HARDWARE AND CYLINDER LOCK

NOTE 5: 3x30 FIXED SAFETY GLASS NOTE 6: PROVIDE CLOSER

NOTE 7: PROVIDE PUSH PULL

NOTE 8: PROVIDE LEVER LATCH SET

NOTE 9: OFFICE LOCK NOTE 10: STORAGE LOCK SET

NOTE 11: TEMPERED 3'-0"X7'-0" SIDELITES AT EACH SIDE PLUS (3)3'-0" X 2'-0" TRANSOM UNITS /2

NOTE 12: 1'-0" SIDELITE TEMPERED NOTE 13: PRIVACY LOCK SET

SF SHALL BE WHITE FACTORY PAINTED FINISH

SCW= SOLID CORE BIRCH VENEER STAIN & POLYURETHANE

ALL GLASS IN DOORS SHALL BE TEMPERED

		MIN	DULE A 2	
NO.	NOMINAL SIZE W x H	DESCRIPTION	FRAME FINISH	GLAZING
$\langle A \rangle$	2'-8" x 6'-0"	FIXED	VINYL	NOTE 1
$\langle B \rangle$	2'-4" x 6'-0"	FIXED	VINYL	NOTE 1
(C)	2'-8" x 5'-0"	FIXED	VINYL	NOTE 1
$\langle D \rangle$	2'-0" x 6'-0"	FIXED	VINYL	NOTE 1
$\langle E \rangle$	1/2 ROUND 4'-8"	FIXED	VINYL	NOTE 1

NOTE 1: ALL GLASS SHALL BE LIGHT GRAY SUPER NEUTRAL 68, U=0.29 SHGC=0.30 1" INSULATED, TEMPERED AS NOTED

FINISH SCHEDULE										
ROOM NAME	FLOOR	BASE	WALLS			CEILING	CEILING	MILLWORK /	NOTES	
KOOM NAME	TLOOK		NORTH	SOUTH	WEST	EAST	CLILING	HIEGHT	TRIM	NOILS
LOBBY & HALLS	LVT-1	VB-1	P-1	P-1	P-1	P-1	SATC-1	9'-0''	P-11	1
STORAGE 1, 2 & 3	LVT-1	VB-1	P-1	P-1	P-1	P-1			P-11	1
MEETING 1 & 2	LVT-1	VB-1	P-1	P-1	P-1	P-1			P-11, P-12	1, 2
RESTROOMS	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0''	P-11	1, 3
KITCHEN	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0''	P-11	1
JANITOR/CL	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0''	P-11	1
STAIR	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0''	P-11	1

1. PROVIDE DRYWALL (GWB) WITH LEVEL 4 FINISH

2. PROVIDE 5/8" GWB FROM SLAB TO 12'-0" AFF. LEAVE VINYL FACED INSULATION EXPOSED TO ROOF.

3. TILE TO 4' A.F.F. (OPTION)

FLOOR FINISH:

CNC-1 SEALED CONC. SLAB

LVT-1 LUXURY VINYL TILE COLOR AND STYLE AS SELECTED BY OWNER

BASE:

4" VINYL COVE BASE

COLOR AS SELECTED BY OWNER

VB-2 4" VINYL BASE

COLOR AS SELECTED BY OWNER

ROLLED UP EPOXY EPOXY

MILLWORK / TRIM:

COLOR AS SELECTED BY OWNER

WHITE OIL BASED PAINT

SATC-1 2'-0" x 2'-0" SQUARE EDGE FISSURE COLOR: WHITE HEIGHT PER SCHEDULE

HOLLOW METAL FRAMES WILL HAVE 2 COATS

OF OIL BASED PAINT

EXPOSED STRUCTURE WILL HAVE 1 COAT OF

(PER A117.1 2017 - PAINTED GWB FIGURE 604.7.1(A)) ABOVE TILE TYP. ALL 4 WALLS CERAMIC TILE UP TO 68" A.F.F. TYP. , 42" MIN. ALL 4 WALLS 24" MIN. - STONE BASE TYP. ALL 4 WALLS (OPTIONAL DISPENSER LOCATION) – CEILING PER PLAN – WALL MOUNTED – LIGHT FIXTURE (PER A117.1 2017 — WALL PER FINISH -(OPTIONAL) FIGURE 604.7.1(A)) SCHEDULE - T-1 MIRROR FACE OF 39" - 41" FINISH 42" MIN. 1'-0" MAX. ▶ 42" MIN. 36" MIN. – CONTROL **SWITCH** 7" - 9" TO E OF DISPENSER **SCHEDULE**

(FOR MOUNTING

HEIGHTS ONLY)

= 1 PER 25

= 1 PER 40

= 1 PER 100

= 1 SERVICE SINK

A-4 SCALE: 3/8" = 1'-0"

WATER CLOSETS

DRINKING FOUNTAINS

LAVATORIES

OTHER

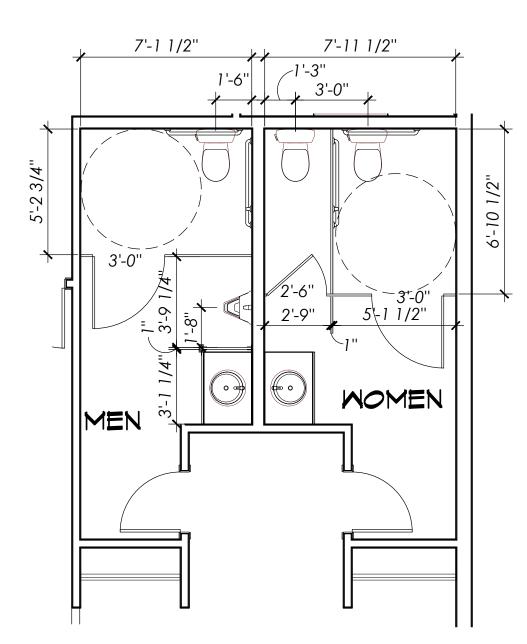
FOR BUSINESS:

GRAB BAR ON SIDE WALL (T-3) TO BE OFFSET 12" FROM THE

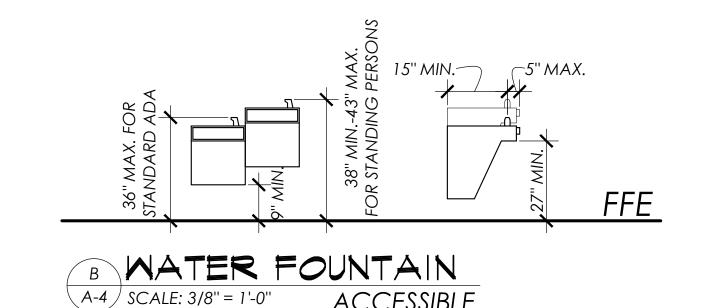
REAR WALL (T-4). ALL GRAB BARS ARE TO WITHSTAND A

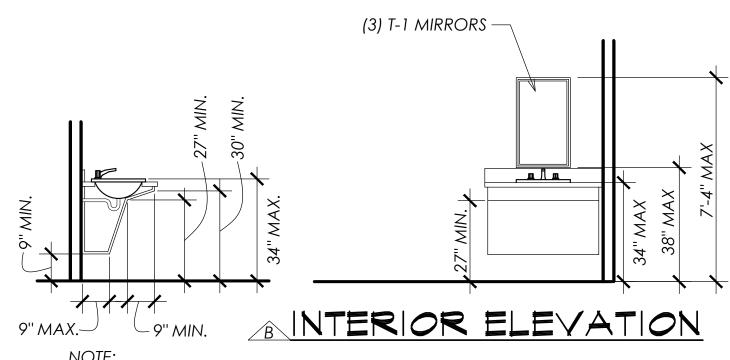
STRESS FORCE OF 250 lbs. IN ANY DIRECTION.

TABLE 2902.1 MIN. NO. OF PLUMBING FACILITIES



RESTROOM DETAIL PLAN A-4 SCALE: 1/4" = 1'-0"





EXPOSED PIPES AND SURFACES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS (606.6).

> SINK DETAIL A-4 SCALE: 3/8" = 1'-0" ACCESSIBLE

TOILET ACCESSORIES SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL #	REMARKS
T1	MIRROR	ASI	0620	18" x 30"
Т2	TISSUE DISPENSER	ASI	0263-1A	
Т3	GRAB BAR	ASI	3201	HORIZONTAL
T4	GRAB BAR	ASI	3201	HORIZONTAL
T5	GRAB BAR	ASI		VERTICAL

. ALL TOILET ACCESSORIES ARE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR.

2. WHERE NOT SHOWN, MOUNT ALL TOILET ACCESSORIES AT THE

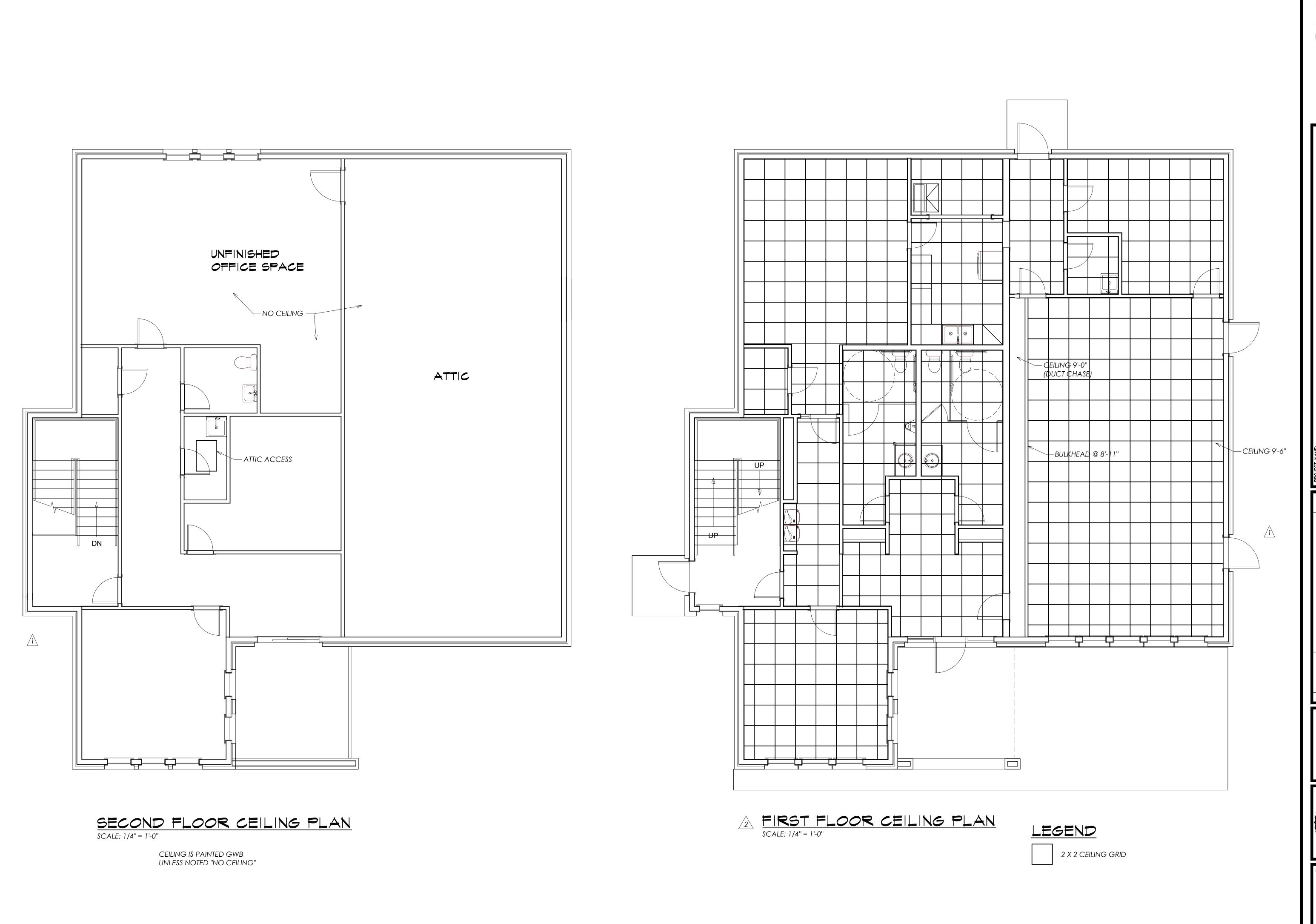
MANUFACTURER'S RECOMMENDED MOUNTING HEIGHTS AND IN COMPLIANCE WITH ALL LOCAL AND NATIONAL ACCESSIBILITY REQUIREMENTS.

3. PROVIDE BLOCKING IN WALLS FOR MOUNTING OF ALL TOILET ACCESSORIES AS RECOMMENDED BY THE MANUFACTURER.

ARCHITECT

PHONE (757) 599-1212 FAX (757) 599-4555

JOB NO.: 1987



HENRY

ARCHITECT

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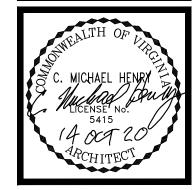
AME: DSED BUILDING FOR RICAN LEGION POST 40 IT SOUTH MALLORY STREET FON, VA

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 02 FEB 21
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 DR8

DATE: 14 OCT 20
DRAWN BY: DRS/
CHECKED BY: CMH



JOB NO.: 1987

SITE PLAN

AMERICAN LEGION POST 48 SOUTH MALLORY STREET

HAMPTON

VIRGINIA

PROJECT INFORMATION:

PROPERTY ADDRESS LEGAL DESCRIPTION

115 & 117 SOUTH MALLARY STREET LOTS 15 & 17, ELIZA LANCER LAND 1

JL58 (Frontal Hampton Roads-Hampton River)

PH-1 (PHOEBUS URBAN CORE)

FRONT YARD SETBACK

NONE

REAR YARD SETBACK

VACANT FIELD

CURRENT USE PROPOSED USE

RECREATIONAL (PRIVATE CLUB/LODGE)

WATER **PUBLIC**

SEWER PUBLIC

VAHU6

STATISTICAL DATA

EX, SITE COVER 924 S.F. / 0.0212 AC. (13.9%) IMPERVIOUS SURFACES

5,706 S.F. / 0,1310 AC. (86,1%) 0 S.F. / 0 AC. (0%)

6,630 S.F. / 0.1522 AC.

MANAGED TURF

PROP. SITE COVER IMPERVIOUS SURFACES MANAGED TURF FOREST

3,436 S.F. / 0.0789 AC. (51.8%) 3,194 S.F. / 0.0733 AC. (48.2%) 0 S.F. / 0 AC. (0%)

2667 S.F. / 0.0612 AC. 1612 S.F.

PROPOSED BUILDING FOOTPRINT

PROPOSED 2ND STORY

PROPOSED DISTURBED AREA

1.023 S.F. / 0.0235 AC ON-SITE DISTURBANCE
OFF-SITE DISTURBANCE (PUBLIC RM) 924 S.F. / 0.0212 AC

PARKING CALCULATIONS (CLUB/LODGE USE):

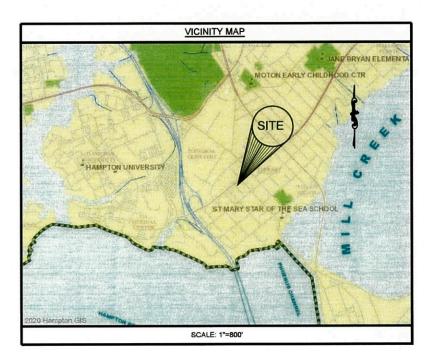
PROVIDED PARKING

REQUIRED HANDICAP SPACES

ALL PROPOSED UTILITIES AS WELL AS ALL UTILITIES TO BE RE-LOCATED AS PART OF THIS PROJECT SHALL BE PLACED UNDERGROUND.

RESPONSIBLE LAND DISTURBER (RLD):

THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT, ONCE THE PLANS ARE APPROVED BY THE COUNTY THE OWNER/DEVELOPER SHALL PROVIDE THE COUNTY WITH THE NAME OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.



DEVELOPER / OWNER

PHOEBUS POST 48 AMERICAN LEGION INC. CONTACT: ANTON SCHMIDT 211 E. TAYLOR AVE.

ENGINEER
LANDTECH RESOURCES, INC. CONTACT: WILLIAM S. FELTS 205E BULIFANTS BLVD. WILLIAMSBURG, VA 23188 (757)592-6071

BEFORE YOU DIG. **CALL MISS UTILITY** (1-800-552-7001)



donnie.mason@one,verizon.com Office: (757) 875-2760; Cell: (757) 621-5370 VIRGINIA NATURAL GAS CONTACT: KEVIN STARKE (INTERMEDIATE ENGINEER - ENGINEERING SERVICES) kstarke@agiresources.com Office: (757) 616-7529; Cell: (757) 449-0825 COX COMMUNICATIONS CONTACT: JESSE JORDON HAMPTON ROADS SANITATION DISTRICT-DEVELOPMENT SERVICE

DOMINION POWER
CONTACT: JOSE A. PESQUERA
(COORDINATOR-ELECTRIC DISTRIBUTION DESIGN)

VERIZON WRELESS CONTACT: DONNIE MASON (ENGINEERING MANAGER)

TABLE OF CONTENTS

C0001 COVER SHEET

CS101 LAYOUT PLAN

C0002 GENERAL NOTES & DETAILS

VF101 EXISTING CONDITIONS

SP2020-0024

IRECTOR OF	F PUBLIC WORKS	DATE





48 STREET **POST**

SITE PLAN
N LEGION SOUTH MALLORY MERICAN

lob Number: 20-088 rawn By: WSF COVER SHEET

C0001 SUP SUBMITTAL

EXISTING SITE CONDITIONS

at the corner of Lancer Street and South Mallary Street in Hampton, Virginia. The site is mainly dirt and gravel base This project site is locate
The site is relatively flat.
ADJACENT AREAS

The site is adjoined on 2 sides by right-of-way and existing development on the East and South sides.

PROPOSED DEVELOPMENT

The site will be developed into a lodge for the American Legion Post 48. The entrance will be installed off of Lancer Street for access to the rear of building. The site will utilize the existing parking lot located across Lancer Street. Stormwater runoff from the site will sheetflow from site and will be directed to existing storm inlets.

EROSION & SEDMENT CONTROL MEASURES

All measures listed within this section shall be applied, constructed, and maintained in accordance with the latest edition of the Virginia Erosion and Sediment Control Handbook (VESCH). Refer to the noted section within the VESCH (e.g. VESCH 3.18) for more detailed information. In general, all measures shall be inspected weekly and after each rainfall event for sediment buildup and repaired/cleaned out as needed. Stabilization shall occur as dictated in the sequence of construction on the approved site plan or as directed by County officials.

STRUCTURAL PRACTICES

Silt Fence - 3.05
Silt fence shall be placed around the limits of clearing to intercept and detain small amounts of sediment from disturbed areas during construction

Tree Protection and Preservation - 3.38
Tree preservation and protection is used to ensure the survival of desirable tress where they will be effective for erosion and sediment control, watershed protection, landscape beautification, dust and pollution control, noise reduction, shade and other environmental benefits while construction activities are present.

VEGETATIVE PRACTICES

Temporary Seeding (VESCH 3.31)

The establishment of a temporary vegetative cover on disturbed areas by seeding with appropriate rapidly growing annual plants. The purpose is to reduce erasion and sedimentation by stabilizing and seeding within 7 days areas that will remain dormant for greater than 14 days and reduce damage from sediment and runoff to downstream or off-site areas, and to provide protection to bare soils exposed during construction until permanent vegetation or other erasion control measures can be established.

Permanent Seeding (VESCH 3.32)
The primary role of permanent seeding and final stabilization with respect to pollution prevention is the ability of this seeding and stabilization to protect disturbed areas from erosion and thus decreasing sediment yield at the first level. Permanent seeding is crucial to both erosion and pollution prevention and has many specific details; refer to the VESCH and the approved site plan for proper seeding techniques and practices.

Mulching (VESCH 3.35)
Application of plant residues or other suitable materials to the soil surface. Mulching is used to prevent erosion by protecting the soil surface from raindrap impact and reducing the velocity of overland flow as well as to faster growth of vegetation by increasing available moisture and providing insulation against extreme heat and cold. This is used on areas immediately after they have been seeded.

MANAGEMENT STRATEGIES

- WOCKENT STRATEGES

 Sediment trapping measures will be installed as the first step in grading and will be seeded and mulched immediately following installation.

 Temporary seeding or other stabilization will follow immediate after grading.

 The contractor shall be responsible for the installation and maintenance of all erosion and sediment control practices depicted on the Plans.

 After achieving adequate stabilization, the temporary controls will be cleaned and removed. Any areas disturbed in the removal process shall be graded, top soiled, and seeded accordingly.

FERMINISTABILIZATION

All areas disturbed by construction shall be stabilized with permanent seeding within 7 days following finish grading. Seeding shall be accomplished with Kentucky 31 Toll Fescue according to Standards and Specifications 3.32. Permanent Seeding of the VESCH. Soil stabilization blankets will be installed over slopes, which have been brought to final grade and have been seeded to protect the slopes from rill and guily erosion and to allow seed to germinate properly. Mulch (straw or fiber) will be used on relatively flat areas, In all seeding operations, seed, fertilizer and time will be applied prior to mulching.

In general, all erosion and sediment control measures will be checked doily and after each significant rainfall. The following items will be checked in particular:

Silt Fence - 3.05
Silt fences shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made

immediately.

Close attention shall be paid to the repair of damaged silt fence resulting from end runs and undercutting.

Should the fabric on a silt fence decompose or become ineffective prior to the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.

Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the

barrier.

Any sediment deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

Permanent Seeding (VESCH 3.32)

Permanent Seeding (VESCH 5.32)
The seeded/mulched areas should be checked regularly to ensure that a good stand is established and maintained. Areas should be fertilized, mulched and re-seeded as needed. When it is clear that plants have not germinated on an area or have died, these areas must be re-seeded immediately to prevent erosion damage. However, it is extremely important to determine for what reason germination did not take place and make any corrective action necessary prior to re-seeding the area.

• Fertilizer shall be applicated using approved fertilization methods and equipment.

• Formulations and application rates shall conform to the guidelines given in VESCH.

• Maintain a ground cover or organic mulch around trees that is adequate to prevent erosion, protect roots, and hold water.

Mulching (VESCH 3.35)

All mulches and soil coverings should be inspected periodically (particularly after rainstorms) to check for erosion. Where erosion is observed in mulched areas, additional mulch should be applied. Net and mots should be inspected after rainstorms for dislocation or failure. If washouls or breakage occur, re-install netting or matting as necessary after repairing damage to the slope or ditch. Inspections should take place up until grasses are firmly established. Where mulch is used in conjunction with armomental plantings, inspect periodically throughout the year to determine if mulch is maintaining coverage of the soil surface; repair as needed.

Tree Preservation and Protection (VESCH 3,38) Maintain a ground cover of organic mulch group

tree rreservation and rrotection (VESUA 3.34)
Maintain a ground cover of organic mulch around trees that is adequate to prevent erosion, protect roots and hold water. Inspire of precaution, some damage to protected trees may occur, in such cases, the following maintenance guidelines should be followed.

Soil Aerotion

• If the soil has become compacted over the root zone of any tree, the ground shall be aerated by pouching holes with an iron bar. The bar shall be driven 1—foot deep and then moved back and forth until the soil is loosened. The procedure shall be repeated every 18 inches until all the compacted soil beneath the crown of the tree has been loosened.

- Repair and Damage

 Any damage to the crown, trunk, or root system of any tree retained on the site shall be repaired immediately.

 Whenever major root or bark damage occurs, remove some foliage to reduce the demand for water and nutrients.

 Damaged roots shall immediately be cut off cleanly inside the exposed or damaged area. Cut surfaces shall be painted with approved tree point, and moist peat moss, burlap, or top-soil shall be spread over the exposed area.

 To treat bark damage, carefully cut away all loosened back into the undamaged area, taper the cut at the top and bottom, and provide drainage at the base of the would. (Plate 3.38-8)

 All tree limbs damaged during construction or removed for any other reason shall be cut off above the collar at the preceding branch junction. (Plate 3.38-8)

 Care for serious injuries shall be prescribed by a forester or a tree specialist.

- Fertilization Broadleaf trees that have been stressed or damaged shall receive a heavy application of fertilizer to aid their recovery.

 Trees shall be fertilized in late fall (after October 1) or the early spring (from the time frost is out of the ground until May 1). Fall applications are preferred, as the nutrients will be made available over a langer period of time.

 Fertilizer shall be applied to the soil over the feeder roots (see Plate 3.38—9). In no other case should it be applied closer than 3 feet to the trunk. The root system of conifers extends some distance beyond the drip line. Increase the area to be fertilized by one fourth the area of the
- trunk, the lost system.

 Crown.

 Fertilizer shall be applied using approved fertilization methods and equipment.

 Formulations and application rates shall conform to the guidelines given in Table 3.38—A of the Virginia Erosion and Sediment Control Handbook.

SEQUENCE OF CONSTRUCTION

MANAGED TURF LAYER.

- ATTEND A PRECONSTRUCTION MEETING WITH CITY OF HAMPTON OFFICIALS.
- OBTAIN ALL NECESSARY PERMITS AND PAY ALL BONDS AND SURETIES.
- INSTALL TREE PROTECTION, AND SILT FENCE.
- ROUGH GRADE SITE.
- CONSTRUCT BUILDING PAD AND POUR FOUNDATION SLAB, SIDEWALKS MAY BE RUN TO THE BUILDING AT ANY TIME ANTIME AFTER THE SLAB HAS SET.
- INSTALL LITHLITIES PER PLAN CONSTRUCT COURTYARD PAVER AREA AT FRONT ENTRANCE TO TIE INTO EXISTING SIDEWALK PAVERS, ENSURE
- ADA COMPLIANCE. BRING ANY UNFINISHED AREAS TO FINAL GRADE AND PERMANENT SEED ALL DISTURBED AREAS TO ESTABLISH A
- CONTRACTOR MAY REMOVE ALL E&S MEASURE UPON FINAL SITE STABILIZATION AND INSTRUCTION TO DO SO HAS

CITY OF HAMPTON, VIRGINIA SITE PLAN STANDARD NOTES

EFFECTIVE: JANUARY 2014

- ALL WORK ON CITY RIGHT-OF-WAY WILL REQUIRE A SEPARATE PERMIT FROM THE COMMUNITY DEVELOPMENT DEPARTMENT DEVELOPMENT SERVICES CENTER, ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY AND IMPROVEMENTS THAT ARE TO BE PUBLIC OR PRIVATE INFRASTRUCTURE SHALL CONFIRM TO CITY OF HAMPTON SPECIFICATIONS AS SET FORTH IN THE PUBLIC WORKS DESIGN & CONSTRUCTION STANDARDS AND THE DEPARTMENT OF PUBLIC WORKS UTILITY POLICY IN EFFECT AT THE THE OF AN ADDRAYCH OF AN ADDRAYCH OF THE OFFICE AND THE OFFICE AT THE THE OFFI AN ADDRAYCH OF THE OFFI AND THE
- TIME OF PLAN APPROVAL

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- PRIVATE SIGN STRUCTURES DEPICTED ON THIS PLAN ARE NOT APPROVED AS TO DESIGN
- PRIVATE SIGN STRUCTURES DEPICTED ON THIS PLAN ARE NOT APPROVED AS TO DESIGN OR LOCATION. ALL PROPOSED PRIVATE SIGNS AND THEIR LOCATIONS ARE SUBJECT TO A PERMITTING AND INSPECTIONS PROCESS ADMINISTERED BY THE CITY OF HAMPTON COMMUNITY DEVELOPMENT DEPARTMENT, FOR MORE INFORMATION CALL (757) 728-2444. A LAND DISTURBING PERMIT MUST BE ISSUED BEFORE CONSTRUCTION IS MAY BEGIN. CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT DEPLOTMENT SERVICES CENTER TO OBTAIN THIS PERMIT, EROSION AND SEDMENTATION CONTROL MEASURES SHALL BE INSTALLED, INSPECTION SHALL BE CORDONINATED THROUGH THE CITY OF HAMPTON DEPARTMENT OF PUBLIC WORKS, FOR INFORMATION OR TO SCHEDULE AN INSPECTION SHALL BE CORDONINATED THROUGH THE CITY OF HAMPTON DEPARTMENT OF PUBLIC WORKS, FOR INFORMATION OR TO SCHEDULE AN INSPECTION CALL (767) 727-8311.
- CALL (757) 727-8311.

 A RESPONSIBLE LAND DISTURBER IS REQUIRED TO OBTAIN LAND DISTURBING PERMITS A VSMP PERMIT SHALL BE OBTAINED WHEN JAND DISTURBING ACTIVITIES ARE GREATER THEN 2,500 SQUARE FEET IF THE PROJECT IS LOCATED IN THE CHESAPEAKE BAY PRESERVATION DISTRICT (CBPD) OR 1 ACRE OUTSIDE OF CBPD.
- PRESERVATION DISTRICT (CBPD) OR 1 ACRE OUTSIDE OF CBPD.

 PRIOR TO FINAL EROSION AND SEDIMENT CONTROL INSPECTION, THE DEVELOPER SHALL

 PROVIDE A CERTIFICATION AS—BUILT FOR THE PROPOSED BMP.

 ALL UNDERGROUND PIPE SYSTEMS (I.E. STORM, SANITARY, WATER DISTRIBUTION) ON

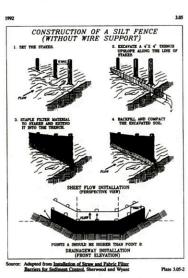
 PRIVATE PROPERTY, OUTSIDE OF UTILITY EASEMENTS, SHALL BE INSTALLED IN

 CONFORMANCE WITH THE INTERNATIONAL PLUMBING CODE, AS AMENDED

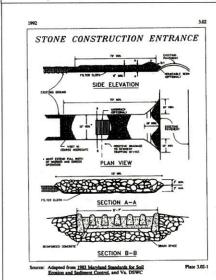
 ALL PUBLIC SANITARY SEWER FACILITIES SHOWN ON THIS PLAN ARE DESIGNED IN

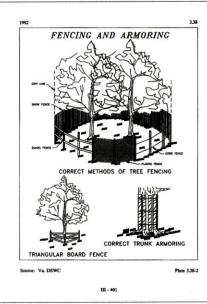
 ACCORDANCE WITH THE REGIONAL DESIGN GUIDELINES.
- 10. SITE LIGHTING SHALL BE A MINIMUM OF \$ FOOT-CANDLE POWER, MEASURED AT GRADE. ANY SITE LIGHTING STRUCTURE IN EXCESS OF FOURTEEN FEET (14") IN HEIGHT SHALL
- ANY SITE LIGHTING STRUCTURE IN EXCESS OF FOURTEEN FEET (14") IN HEIGHT SHALL BE BUILT UPON AN ENGINEERED FOUNDATION SYSTEM IN ACCORDANCE WITH A YALID CITY OF HAMPTON BUILDING PERMIT. THIS SITE MAY BE SUBJECT TO THE VIRGINIA OVERHEAD HIGH—VOLTAGE LINE SAFETY ACT. CONTRACTORS MUST CALL THE UTILITY TO MAKE SAFETY ARRANGEMENTS (DOMINIONS NUMBER IS 1—888—667—3000) BEFORE WORKING WITHIN THE 10—FOOT SAFETY ZONE. NO WORK CAN BE STARTED UN APPROPRIATE SAFETY MEASURES ARE COMPLETED. WATER SERVICE AND SEWER LATERALS MIST HAVE A MINIMUM SEPARATION OF TEN FEET (40%) CAMPILARY SEMER CLEANUITE MIST BE LOCATED UTILITIED OF THE PROPENSE

- WATER SERVICE AND SEWER LATERALS MIST HAVE A MINIMUM SEPARATION OF TEN FEET (10'). SANITARY SEWER CLEANOUTS MUST BE LOCATED DUTSIDE OF THE DRIVEWAY APRONS AND SIDEWALK. ANY CLEANOUTS FOUND IN SUCH LOCATIONS SHALL BE RELOCATED BY THE DEVELOPER PRIOR TO ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY. METER BOXES CANNOT BE LOCATED IN DRIVEWAY APRONS OR SIDEWALKS. GREEN AREAS SHALL CONSIST OF EARTH CAPABLE OF SUSTAINING PANT MATERIALS AND PROVIDING NATURAL PERCOLATION OF WATER, GREEN AREAS SHALL NOT BE USED TO STORE MATERIALS, PRODUCTS OR EQUIPMENT.
 ALL REQUIRED LANDSCAPE ELEMENTS (EXISTING TO BE RETAINED AND/OR PROPOSED), AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN, SHALL BE PROVIDED BY THE DEVELOPER PRIOR TO CITY ISSUANCE OF ANY BUILDING OCCUPANCY CERTIFICATE. FOR MORE INFORMATION CONTACT (757) 728—2444 OR (757) 727—6075 TO SCHEDULE A LANDSCAPING INSTALLATION INSPECTION.



III - 25









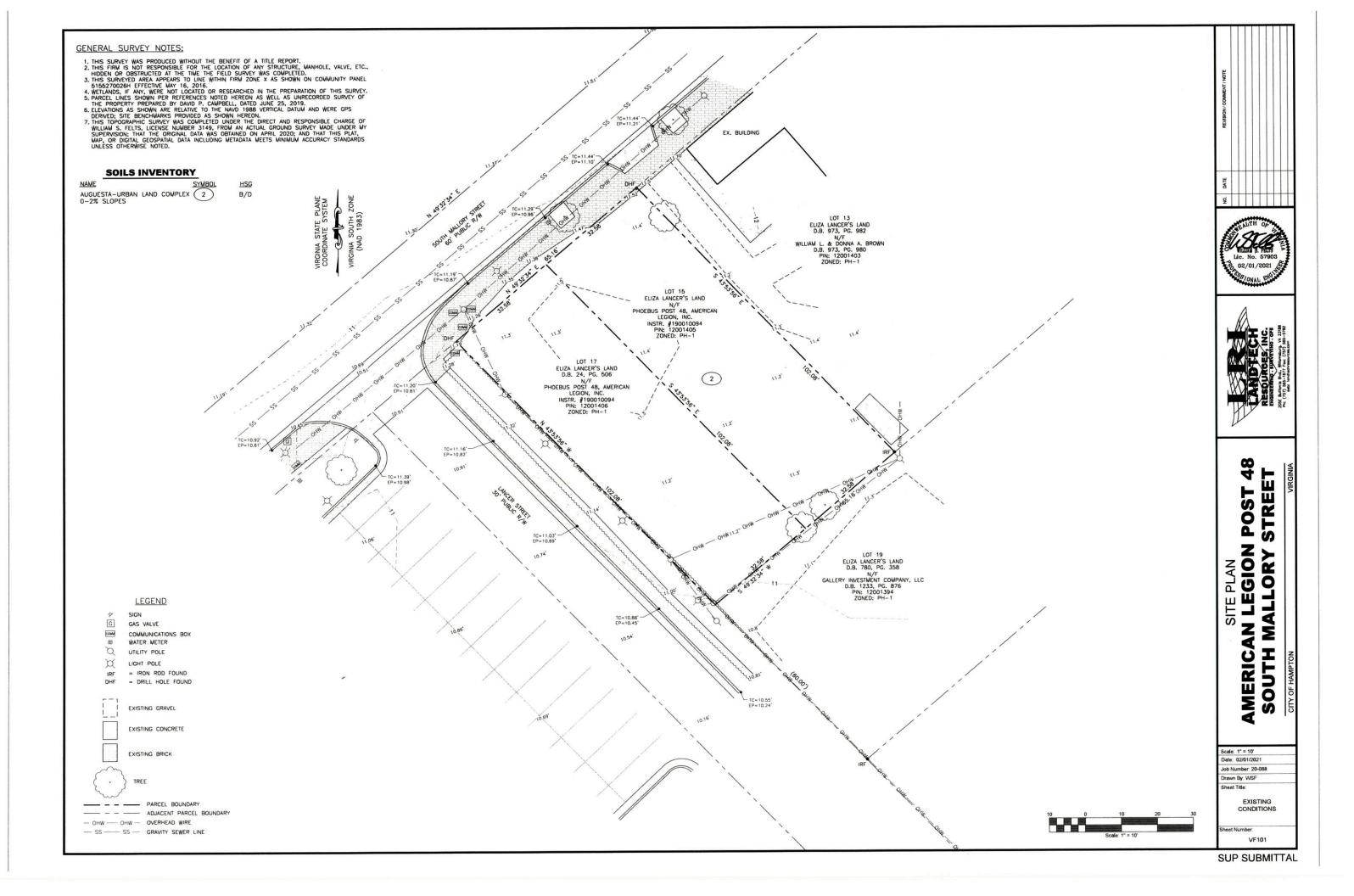


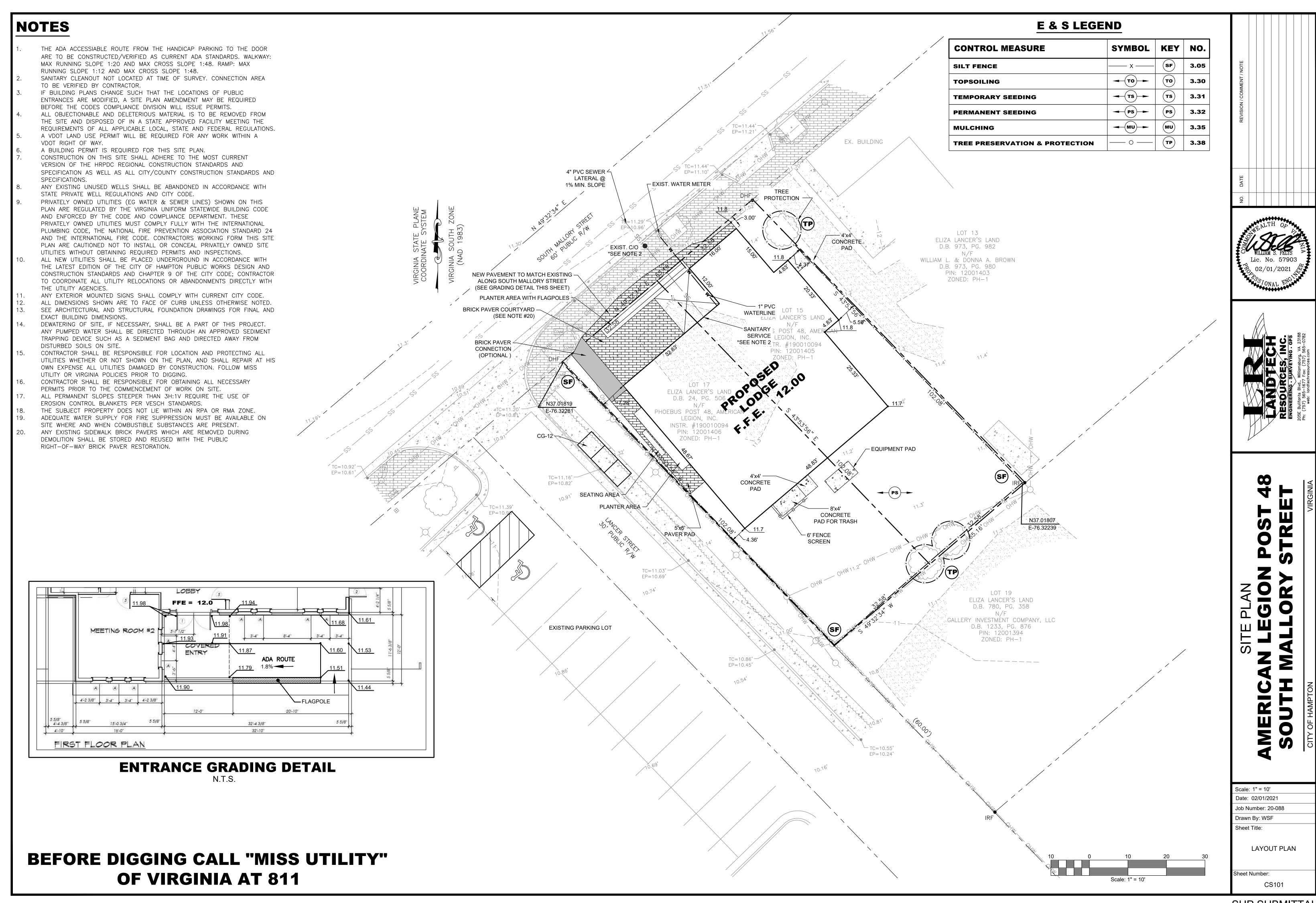
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Z SOUTH U Ž Ш Σ

Scale: N/A b Number: 20-088 rawn By: WSF neet Title: GENERAL NOTES

C0002 SUP SUBMITTAL





GENERAL NOTES:

- 1. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN D.B. 24, PG. 506.
- 2. THIS FIRM IS NOT RESPONSIBLE FOR THE LOCATION OF ANY STRUCTURE, MANHOLE, VALVE, ETC., HIDDEN OR OBSTRUCTED AT THE TIME THE FIELD SURVEY WAS PERFORMED.
- 3. LOT LIES IN F.I.R.M. ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP #5155270026H DATED MAY 16, 2016.
- 4. WETLANDS, IF ANY, WERE NOT LOCATED FOR THIS SURVEY.
- 5. UNDERGROUND UTILITIES WERE NOT LOCATED.
- 6. THERE ARE NO BUILDINGS ON EITHER LOT.
- 7. THE LAND BOUNDARY SURVEY SHOWN HEREON IS BASED UPON A
- CURRENT FIELD SURVEY PERFORMED 03/28/2020.
- 8. THE SUBJECT PROPERTY IS NOT LOCATÉD WITHIN THE CHESAPEAKE BAY PRESERVATION DISTRICT.
- 9. PROPERTY MAY BE SUBJECT TO RIGHTS OF WAY, EASEMENTS, COVENANTS AND ALL MATTERS OF PUBLIC RECORD.

SOILS:

AUGUSTA-URBAN LAND COMPLEX (PER CITY OF HAMPTON MAPPING)

PROPERTY INFORMATION

LOT 15 & LOT 17

ELIZA LANCER'S LAND

OWNER: PHOEBUS POST 48, AMERICAN LEGION, INC.

INSTR. #190010094

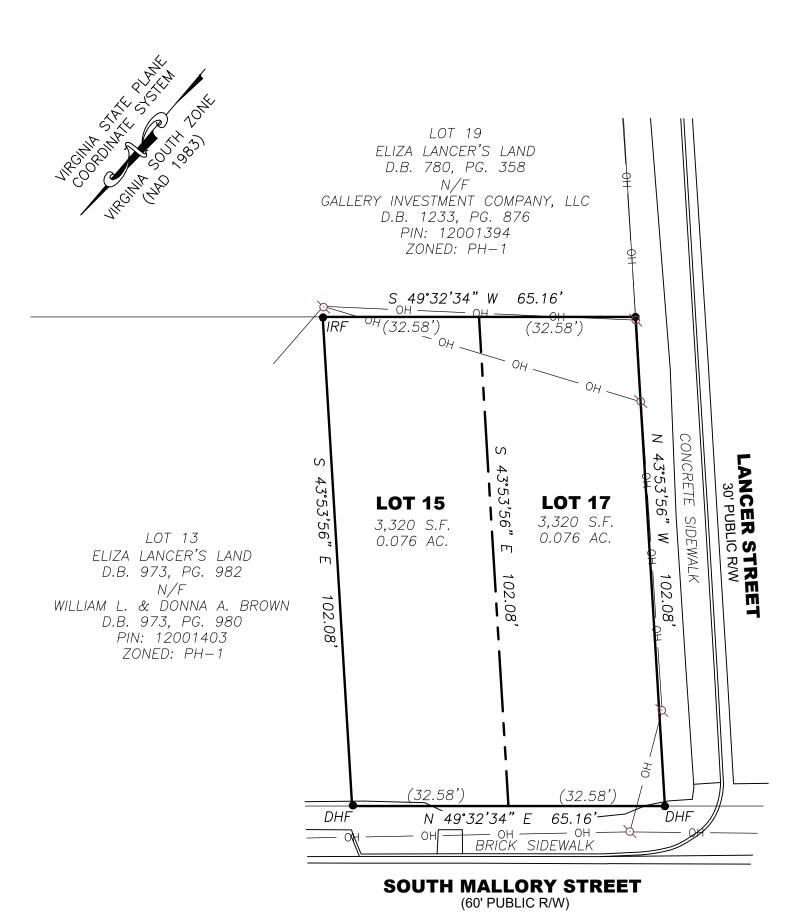
PIN: 12001405 & PIN: 12001406

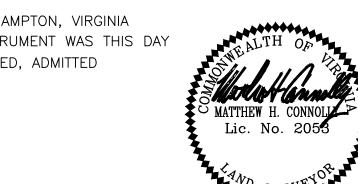
ZONED: PH-1

AREA TABULATION

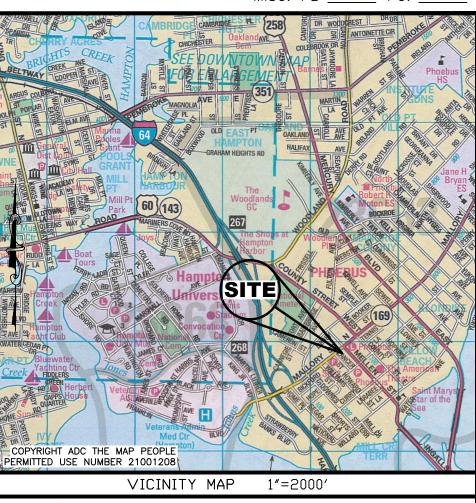
TOTAL AREA = 6,640 S.F. / 0.152 AC.

LOT	15	3,320	S.F.	/	0.076	AC.
LOT	17	3,320	S.F.		0.076	AC.





REFERENCES: INST. #190010094 D.B. 24, PG. 506 (PLAT)



PLAT OF LOT 15 & LOT 17 DIAGRAM OF 4 ACRES MRS. LANCER'S LAND

LOCATED IN THE CITY OF HAMPTON, VIRGINIA

DATE: 12/01/2020 SCALE: 1"=20' JOB #20-088

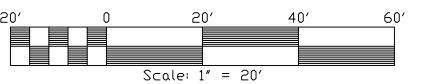
SHEET 1 OF 1

LandTech Resources, Inc.

Engineering & Surveying Consultants

205 BUlifants Blvd., Suite E, Williamsburg, Virginia 23188

Telephone: 757-565-1677 Fax: 757-565-0782 Web: landtechresources.com



ENGINEERS OR SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND ABILITY, I HAVE COMPLIED WITH THE REQUIREMENTS AS SET FORTH IN THE ORDINANCE FOR APPROVING PLATS IN THE CITY OF HAMPTON, VIRGINIA.

DEP. CLERK

12/01/2020)
DATE	

MATTHEW H. CONNOLLY, L.S. LIC. NO. 2053

STATE OF VIRGINIA
CITY OF HAMPTON, TO WIT:
N THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF HAMPTON, VIRGINIA
A.D. 20 ATM. THE FOREGOING INSTRUMENT WAS THIS DAY
PRESENTED IN THE OFFICE AND UPON CERTIFICATE THERETO ANNEXED, ADMITTED
TO RECORD AS THE THE LAW DIRECTS IN
MISCELLANEOUS PLAT BOOK, PG
FEOTE LINIDA DATOLIELOD ONITH OLEDIA
FESTE: LINDA BATCHELOR SMITH, CLERK