

COPY



Application for Use Permit

Complete this application in its entirety and submit pages 4 and 5 along with the required materials (including any required supplements) as listed on page 2 to the address below:

City of Hampton
Community Development Department, Planning Division
22 Lincoln Street, 5th Floor
Hampton, Virginia 23669

OFFICE USE ONLY
Date Received:
Received 12/11/2020 by Allison Eichele
Case Number: UP 20-00008

1. PROPERTY INFORMATION

Address or Location 115-117 Mallory St.
LRSN 12001405 Zoning District PH-1
Current Land Use Vacant
Proposed Land Use Recreation (Private Club)
The proposed use will be in: [] an existing building [] a new addition [x] a new building

2. PROPERTY OWNER INFORMATION (an individual or a legal entity may be listed as owner)

Owner's Name PHOEBUS Post 48 AMERICAN LEGION, INCORPORATED
Address PO Box 3449 City HAMPTON State VA Zip 23663
Phone 757-723-0202 Email PHBUS42@VERIZON.NET

X

3. APPLICANT INFORMATION (if different from owner)

Applicant's Name
Address
City State Zip
Phone Email

4. APPLICANT AGENT INFORMATION (if different from applicant)

Agent's Name William S. Felt, PE Landtech Resources, Inc.
Address 3925 Midlands Rd. City Williamsburg State VA Zip 23188
Phone 757-565-1677 x 203 Email william@landtechresources.com

5. CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the property owner is not an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. as specified in Step 2 above.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity PHOEBUS POST 48 AMERICAN LEGION, INCORPORATED

Signed by:

Name (printed) ANTIGN SCHMIDT, Its (title) PRESIDENT

Signature [Signature] Date 11-25-2021

Name (printed) EDWIN STANLEY, Its (title) TREASURER

Signature [Signature] Date 11-25-2021

Name (printed) _____, Its (title) _____

Signature _____ Date _____

X

6. CERTIFICATION FOR INDIVIDUAL PROPERTY OWNERS

Complete this section only if the property owner is an individual or individuals.

"I hereby submit that I am the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) _____

Signature _____ Date _____

Name (printed) _____

Signature _____ Date _____

OFFICE USE ONLY

- Application Form
- Narrative Statement
- Supplemental Form (if required)
- Application Fee
- Survey Plat
- Additional materials (if required)

AFFECTED PARCEL OWNER CERTIFICATION

(A) CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the property owner is not an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. in pursuant to Virginia Code section 15.2-2258.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and the proposed site/development plan and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity American Legion Post 48 Hampton Va. LRSN _____

Signed by:

Name (printed) Anton A. Schmidt Its (title) Corporation President
Signature [Signature] Date 9-29-2020

Name (printed) Edwin C. Stanley Its (title) Corporation Treasure
Signature [Signature] Date 9-29-2020

Name (printed) Thomas D. Smith Its (title) Corporation Member
Signature [Signature] Date 9-29-2020

(B) CERTIFICATION FOR INDIVIDUAL PROPERTY OWNERS

Complete this section only if the property owner is an individual or individuals.

"I hereby submit that I am the fee-simple owner of this property. I have read this application and the proposed site/development plan and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) _____ LRSN _____
Signature _____ Date _____

Name (printed) _____ LRSN _____
Signature _____ Date _____

FOR USE BY DSC PERSONNEL ONLY:

Application Number: SP20 Date Received: _____



Phoebus Post No. 48

THE AMERICAN LEGION

Aug. 1, 2020

I, Anton A. Schmidt, in my official capacity hereby certify: That I am President to American Legion Phoebus Post No.48, Tax ID # 54-6072554. A corporation duly organized and existing under the laws of the State / Commonwealth of Virginia: That Edwin C. Stanley who is Treasurer of this corporation is hereby authorized to buy, sell, and assign and transfer the following: [REDACTED] and to execute any and all instruments necessary , proper or desirable for the purpose, further that any past action in accordance herewith hereby ratified and confirmed.

I further certify that the foregoing is not contrary to any provision in the charter or bylaws of this corporation, that Anton A Schmidt now is President of this corporation , and that I have been duly authorized to make this certificate on behalf of this corporation.

A.A. Schmidt
Certifying Officer

County/City of Hampton
Commonwealth/State of Virginia
The foregoing instrument was acknowledged
before me this 3 day of August
2020 by
A. A. Schmidt
(name of person seeking acknowledgement)
Marie Angelina Harvey
Notary Public
My Commission Expires: 12/31/2023



P.O. Box 3449, Hampton VA, 23663

The American Legion is the nation's largest war time veterans service organization committed to mentoring youth, and sponsorship of wholesome programs in our community, advocating patriotism and honor, promoting strong national security, and continued devotion to our fellow service members and veterans. The American Legion is a nonprofit organization, we have no employees, and are open to members of the military, veterans and their immediate family. Post 48 (Phoebus Post) has been located in the Phoebus section in the city of Hampton, Va since the 1950's. We have one monthly meeting, and some random committee meetings. We do volunteer work at the VA Medical Center in Hampton, the area schools, and in the community. In the past, in our old post home we allowed civic organizations to utilize our facility for community meetings, and allowed St. Mary's school to use it as an evacuation site. We have approximately 35 active members including the Legion and Auxiliary. Our building may be used for social gatherings for club members for Christmas, and maybe rented out to members for small parties. There are no plans for live music.

For God and Country,

A handwritten signature in black ink, appearing to read "Anton A. Schmidt". The signature is written in a cursive style with a large initial "A" and a long, sweeping tail.

Anton A. Schmidt



FINAL RESUBMITTAL

March 4, 2021

To: Allison Eichele Jackura
Senior Planner
City of Hampton
Community Development Services Center
22 Lincoln Street
Hampton, VA 23669

Re: Special Use Permit – Applicant Statement Resubmittal #UP20-00008
American Legion Post 48
Zoning Design Standards
LRSN(s) 12001405/12001406

Phoebus Post 48 American Legion, Inc. kindly requests your consideration of this application for a Special Use Permit for the alteration to development standards for the above referenced site.

These alterations are in regard to the following Zoning requests:

1. *For buildings with ground floor commercial space, there shall be a maximum front setback of zero feet unless one of the following optional pedestrian amenities is provided in accordance with the City of Hampton Pedestrian Amenity Design Standards, in which case the maximum shall be 15 feet. The site plan has been revised to show a planter that extends from the building to the front property line. (copy attached) A Use Permit is requested for this alteration to the PH-1 development standards that are outlined in Sec. 8-62.(3). [ZO Sec. 8-62.(3)(c)(i)]*
 - a. *Court Yard is provided.*
 - b. *Outdoor Seating Area is not desired by the applicant. However, per your recommendation, we will provide an additional paver patio with a bench on the Lancer Street side yard.*

The submitted plan provides for a small court yard entrance at the front of the building. The Building does not require "Walk-in" commercial use by the public. It is a "Membership" organization and only those members or invited guests would use the facility.

181 Herman Melville
Avenue

Newport News, VA
23606

Phone: 757-599-1212

Fax: 757-599-4555

mike@mha-pc.com

A handwritten signature in blue ink, appearing to read "mha".

2. *Side, adjacent to a public right-of-way. For buildings with ground floor commercial uses, there shall be a maximum setback of 0 feet unless one of the following optional pedestrian amenities is provided in accordance with the City of Hampton Pedestrian Amenity Design Standards, in which case the maximum shall be 15 feet. [ZO Sec. 8-62.(3)(c)(ii)]*
 - a. *Court Yard on the Lancer Street side is not feasible.*
 - b. *Outdoor Seating Area on the Lancer Street side has been limited to one bench on the enlarged paver patio.*

The submitted plan shows the building as far over as possible without causing interference with the existing power lines that run along the public right-of-way.

3. *The maximum width of a building with ground floor commercial uses shall be 50 feet. Currently the building measures 53'-8" feet across – Please update the building plans to either reflect this standard or seek the Use Permit for any alterations to the PH-1 development standards. [ZO Sec. 8-62.(3)(d)(i)]*

(See item 4)

4. *A minimum of 90 percent of the front setback line across the entire parcel must be occupied by the building façade, which has occupiable, wholly enclosed space directly behind and connected to it. I understand this comment has led to some confusion during the site plan review process as it contradicts the previous requirement. The Use Permit will need to be sought in order to construct a building that can meet both standards. [ZO Sec. 8-62.(3)(e)(i)]*

With the site width being 65.16', the minimum 90% requirement would mean the building would need to be Over 58' wide at the setback line. Since this contradicts the maximum 50' requirement, and due to the interference of the existing power lines running along the western side of the building to the front, we are requesting that this requirement be waived and the current proposed building width be allowed.

5. *The primary entrance to this building shall directly face Mallory Street. The screening of the primary entrance blocks it from view of Mallory Street. Please amend the building plans to reflect this standard or seek the Use Permit. [ZO Sec. 8-62.(3)(e)(ii)(aa) and (bb)]*

The submitted plan provides for a small court yard entrance at the front of the building with the door sitting within a small alcove area. The site is not designed for retail use and is unique to the surrounding uses. The Building does not require "Walk-in" commercial use by the public. It is a "Membership" organization and only those members or invited guests



would use the facility. We have created a large opening in the front courtyard wall to provide a line of sight to the main entrance door, which is glass with large sidelights and transoms.

6. *Where ground floor commercial space fronts on a public right-of-way, a minimum of 40 percent of the first floor building façade containing the primary entrance shall be comprised of glass windows or glass doors that allow views at least 4 feet into the interior building space. It may be possible that this standard is being met, but our office will need to see a scaled, architectural elevation of the building in order to confirm this. Please provide the scaled, architectural elevations. [ZO Sec. 8-62.(3)(e)(iv)(aa)]*

The revised front elevation is attached. The larger windows and glass entry door now exceed 40% of the first floor wall area. The calculations are listed on Sheet T-1.

BUILDING DESIGN:

The Designer agrees that large portions of blank walls should be avoided on both Mallory and Lancer Streets. Therefore windows and pedestrian amenities (See below), have been added to the Mallory St. facade. Reconfiguration of doors, a planter/ landscaping and a gable roof with a circle head window have been added to the Lancer St. elevation These revisions to the design provide an articulated facade facing both streets. The building should provide a transition between the "Urban Core" of Mellen Street and the former residential area of South Mallory St., which is now parking lots, a service station, fast food eateries, a convenience store and apartments. Exterior materials for the building will include brick and colors to comply with the Phoebus (PH1) Guide Lines, and will be submitted for approval.

PEDESTRIAN AMENITY DESIGN:

The Entrance Court is accessible from both Mallory Street and Lancer Street. The area consists of an area approximately 25 ft x 15 ft . Concrete pavers with contrasting color border and a large planter define the separation between the court and the city sidewalk. Handicapped access to the building is achieved with a gently sloped entrance court up to the covered entry. The paved area along with bench seating and another planter will complete the pedestrian amenities facing Lancer Street.

Based on this, we request the requirements be waived.

In response to your letter dated December 22, 2020 to William Felts at LandTech:



A revised floor plan along with updated door and window schedules are included in the attached set of architectural drawings labeled Revision #2.

Documentation that the representatives signing the application have legal power of attorney is provided by the "Certification for property owners" and the "Certification of Post 48 President", both attached.

The Plat of Lot 15 and 17 is attached and will be used to vacate the property line.

The \$650 application fee has been mailed and received.

The application with a "wet signature" will be delivered prior to the public hearing.

The fenestration and primary entrance requirements have been addressed as follows:

The Building does not require "Walk-in" commercial use by the public. It is a "Membership" organization and only those members or invited guests would use the facility. Windows have been added to the Mallory St. facade to comply with the Guidelines. The exterior design has been revised to resemble Port Warwick and the "Main Street Form" on page 29 of the Master Plan.

The blank wall has been penetrated with two large openings, larger glass areas and with signage and plantings facing both streets. A dormer with a window has been added facing Lancer Street.

Paver type has been changed inside the property line on Mallory Street to address the "surface" category. Two large raised planters have been added facing both streets to address the "fixtures" category.

The total area of the building is 4279 square feet. On-site parking is not required.

The use and expected activities for the building is addressed in the attached owner's narrative.

We appreciate your consideration to approve this Special Use Permit request in support of the items listed above.

Sincerely,

A handwritten signature in blue ink that reads "C. Michael Henry, Sr. AIA". The signature is written in a cursive style.

C. Michael Henry, Sr. AIA

On behalf of

Phoebus Post 48 American Legion, Inc.

Copy: Mike Hayes, Senior City Planner

Attachments:

Revision 2 Architectural Drawings

Revised Site Plan

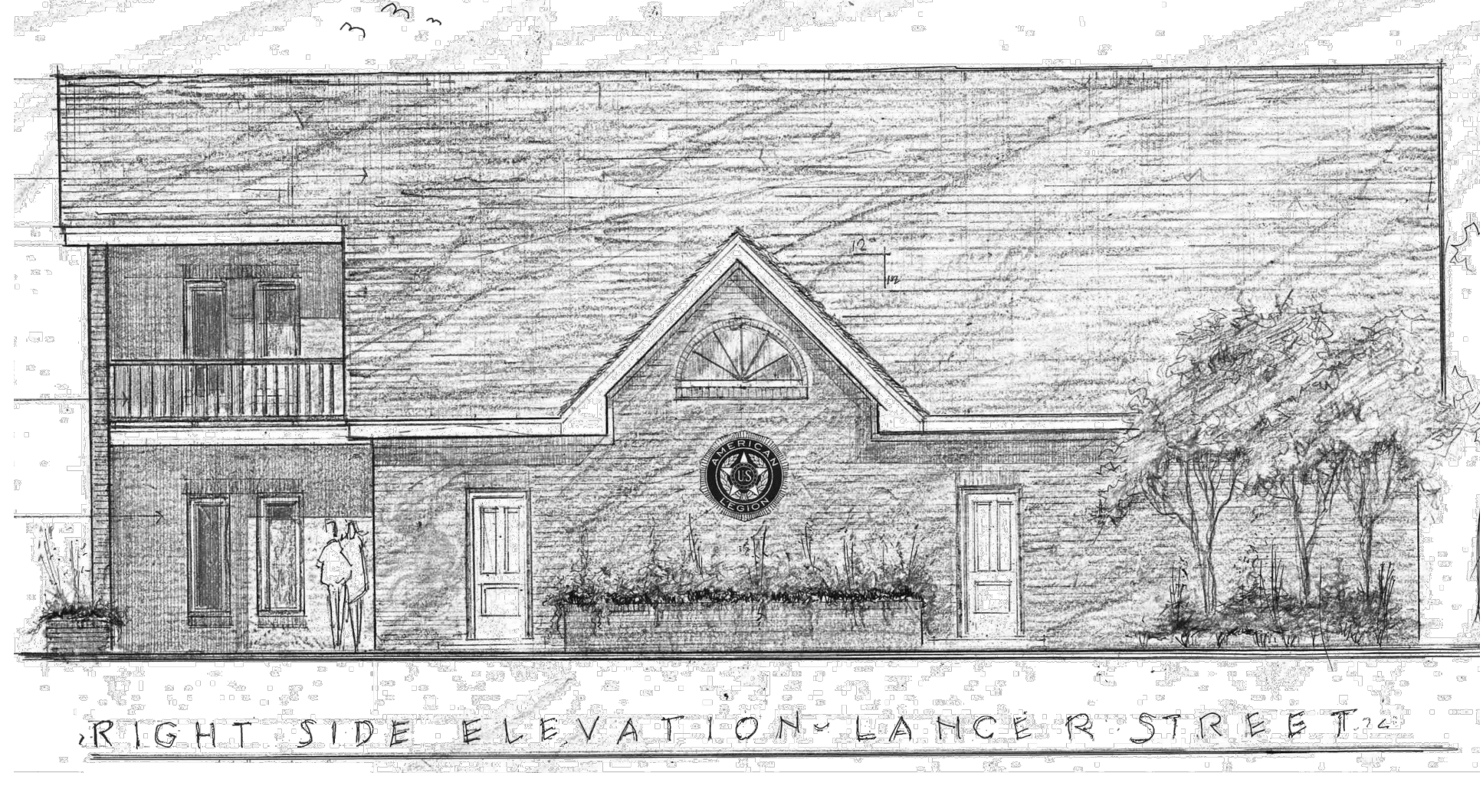
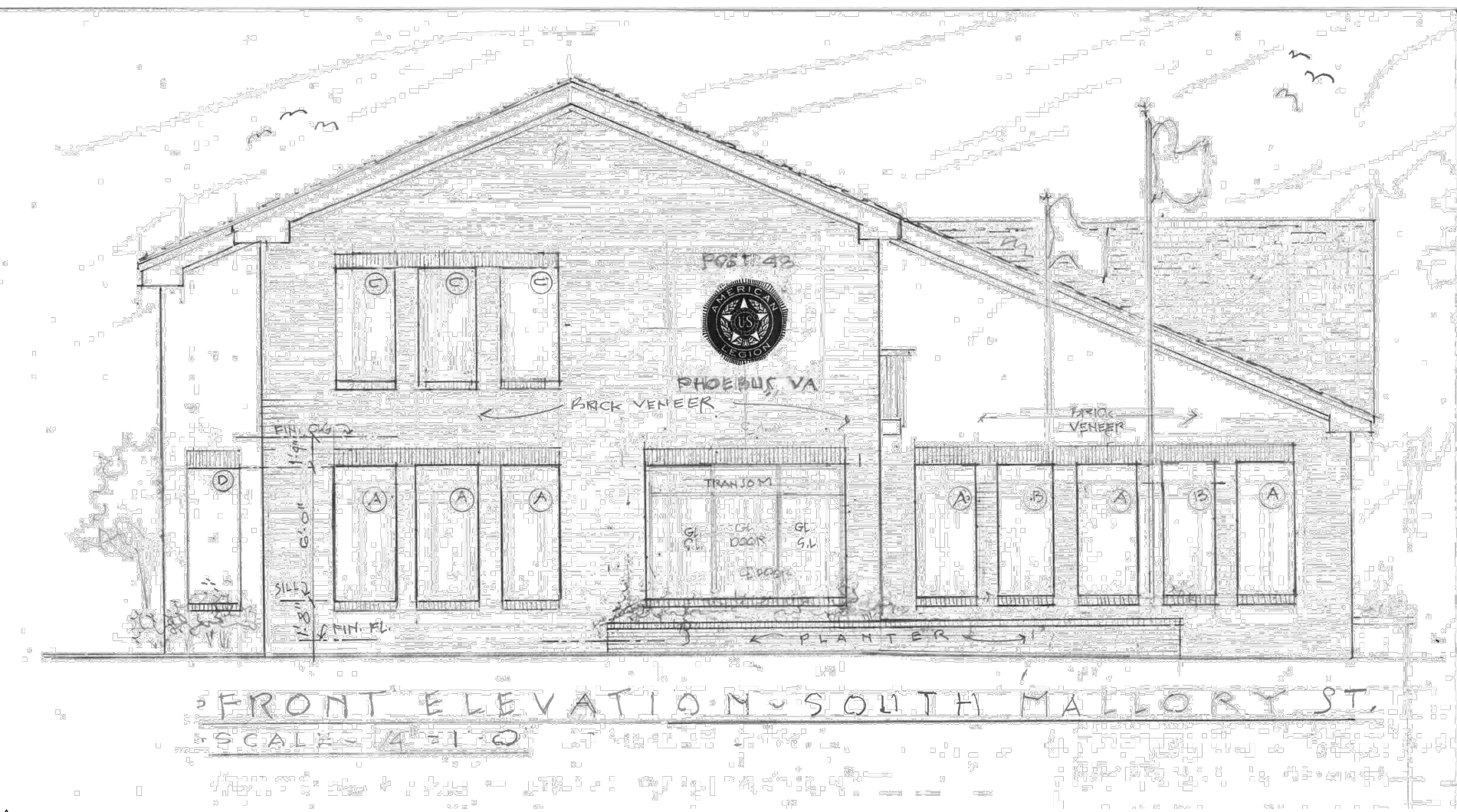
Plat for Lots 15 and 17

Certification for property owners

Certification of Post 48 President

Owner's Narrative





**PROPOSED BUILDING FOR
AMERICAN LEGION POST 48
115 & 117 SOUTH MALLORY STREET, HAMPTON, VIRGINIA**

CODE DATA 101.1 APPLICABLE CODE - VIRGINIA BUILDING CODE (VUSBC), 2015 (IBC 2015 WITH AMENDMENTS)
ADDITIONAL CODE REFERENCES:
ACCESSIBILITY GUIDELINES ICC/ANSI A117.1, 2009
THE INTERNATIONAL MECHANICAL CODE (IMC), 2015
THE INTERNATIONAL PLUMBING CODE (IPC), 2015
THE NATIONAL ELECTRICAL CODE (NEC), NFPA 70 2014
THE INTERNATIONAL FIRE CODE (IFC), 2015, AND NFPA-13, 2011
THE INTERNATIONAL ENERGY CONSERVATION CODE 2015

HAMPTON, VIRGINIA	
SNOW LOAD	15 PSF
SEISMIC CONDITION	ZONE A
WIND SPEED	115 MPH (3 SECOND GUST)
WEATHERING	MODERATE
FROST LINE DEPTH	12 INCHES
TERMITE	MODERATE TO HEAVY

USE GROUP/OCCUPANCY
USE GROUP: MIXED NON-SEPARATED; B (OFFICES)
A3 (COMMUNITY HALL)

CONSTRUCTION TYPE
TYPE 5B COMBUSTIBLE NOT PROTECTED AND REQUIREMENTS FOR FIRE RESISTIVE ASSEMBLIES
FLOOR-CEILING ASSEMBLY 0-HR
EXIT PASSAGEWAY 1-HR
NO ADDITIONAL PROVISIONS COMPLIANCE STATED IN IBC SECTION 704

ALLOWABLE AREA PER FLOOR FOR TYPE 5B (TABLE 506.2)
WITHOUT SPRINKLER SYSTEM: 6,000 SF MAX. FOR EA. FLOOR USE A-3 (COMMUNITY HALL) ACTUAL AREA; 1ST FL 2667 + 2ND FL 1612 = 4,279 GROSS SF

MAXIMUM HEIGHT OF BUILDING 504.3/STORIES 504.4:

- A. ALLOWED BY CODE: 40 FEET 2 STORY, B (OFFICES) / 1 STORY A-3 (COMMUNITY HALL)
- B. PROVIDED BY DESIGN: 2 STORY, 25'-0 5/8" FEET TO RIDGE

FIRE RESISTIVE RATING REQUIREMENTS 5B

STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES) (TABLE 601, CONSTRUCTION 5B)	0 HR
BEARING WALLS: MORE THAN 30 FT FROM PROPERTY LINE (TABLE 602)	
EXTERIOR	0 HR
INTERIOR	0 HR
NON-BEARING WALLS AND PARTITIONS: MORE THAN 30 FT FROM PROPERTY LINE (TABLE 601)	
INTERIOR	0 HR
705.4 FIRE BARRIER RATING	2 HR
715.3 FIRE DOOR RATING AT FIRE BARRIER	90 MIN
DOORS FIRE-RESISTANCE-RATING FOR CORRIDOR CONCEALED SPACES (EAVE, FASCIA & ATTIC)	1 HR
717.2.1 FIREBLOCKING MATERIAL SHALL BE 1/2" GYPSUM BOARD.	
717.2 FIREBLOCKING SHALL BE PROVIDED IN FASCIA SPACES AT MAXIMUM INTERVALS OF	20 FT. O.C
717.3 DRAFTSTOPPING MATERIAL SHALL BE 1/2" GYPSUM BOARD OR 3/8" PLYWOOD	
717.4 DRAFTSTOPPING IN ATTIC SPACES FOR USE B, 5B CONSTRUCTION SHALL SEAL AREAS WHERE THEY DO NOT EXCEED 3,000 S.F. (N/A)	
EGRESS	
1015.1 MAXIMUM LENGTH OF EXIT ACCESS TRAVEL (B) W/O SPRINKLER	200 FT.
1016.1 FIRE-RESISTANCE-RATING FOR EXIT ACCESS CORRIDOR	1-HR
1016.2 MINIMUM CORRIDOR WIDTH	44 INCHES

- CONTRACTOR TO PROVIDE:**
- A PLAN FOR DURING CONSTRUCTION TEMPORARY AND PERMANENT LOCATION IN THE BUILDING OF PORTABLE FIRE EXTINGUISHERS PER IFC 906.
 - CEILING CLEARANCE OF 2' OR MORE IN ALL AREAS, ESPECIALLY IN STORAGE CLOSETS.
 - ENTRANCE SIGN SHOWING USE GROUP AND THE APPROVED OCCUPANCY LOAD.

NOTES TO CONSULTANTS AND SUBCONTRACTORS:

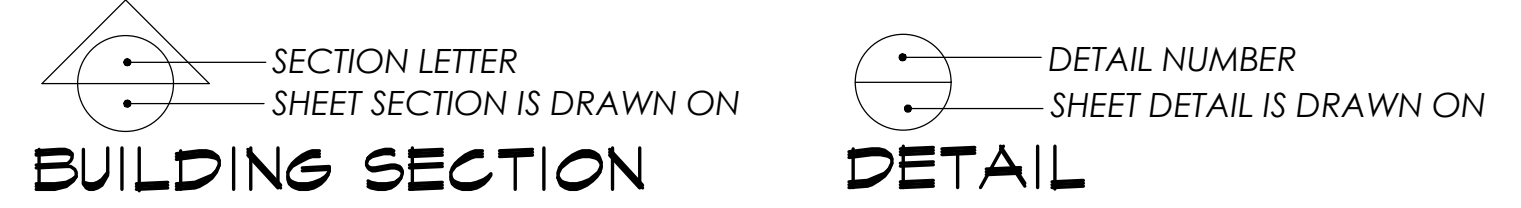
IF THERE ARE PENETRATION THROUGH THE FIRE-RESTANCE-RATED EXIT ACCESS CORRIDOR ASSEMBLY, THE PROTECTION OF THESE ASSEMBLIES PER IBC 712.3.1.2 SHALL BE SHOWN.

MECHANICAL AND ELECTRICAL CONSULTANTS / SUBCONTRACTORS SHALL PROVIDE IECC MECHANICAL AND ELECTRICAL COMPLIANCE CERTIFICATE PER IBC 1301.1.1

MECH. SYSTEM CAN NOT USE HALLWAYS OR SPACE ABOVE THE HALLWAYS AS RETURN PLENUMS.

OWNER/CONTACT:
AMERICAN LEGION POST 48
SOUTH MALLORY STREET,
HAMPTON, VIRGINIA
Tony Schmidt

SYMBOL DESIGNATIONS



LIVE LOADS 1607.1 UNIFORM LIVE LOADS = 125 PSF MINIMUM

ACCESSIBILITY
60% OF ALL ENTRANCES ARE TO BE ACCESSIBLE.

CABINETS, COUNTERS, AND OTHER MISCELLANEOUS FURNISHINGS SHALL BE DESIGNED AND INSTALLED AT A MAXIMUM HEIGHT OF 34" TO BE ACCESSIBLE, AS REQUIRED BY ANSI A117.1.

SHEET LIST

# IN SET	SHEET #	DESCRIPTION
1	T-1	TITLE SHEET, CODE DATA & SHEET LIST
ARCHITECTURAL DRAWINGS		
2	A-1	FIRST FLOOR LIFE SAFETY PLAN
3	A-1.1	SECOND FLOOR LIFE SAFETY PLAN
4	A-1.2	FIRST FLOOR PLAN AND STAIR DETAIL PLAN
5	A-1.3	FIRST FLOOR PLAN AND STAIR DETAIL PLAN
6	A-2	EXTERIOR ELEVATIONS
7	A-3	BUILDING SECTIONS AND DETAILS
8	A-3.1	BUILDING SECTIONS AND DETAILS
9	A-4	SCHEDULES
10	A-5	CEILING PLANS
STRUCTURAL DRAWINGS		
7 SHEETS FROM TAM CONSULTANTS DATED 28 JUL 20		
PLUMBING DRAWINGS		
4 SHEETS FROM INFINITY DESIGN DATED 01 SEP 20		
MECHANICAL DRAWINGS		
5 SHEETS FROM INFINITY DESIGN DATED 01 SEP 20		
ELECTRICAL DRAWINGS		
6 SHEETS FROM TRIAD ENGINEERING DATED 19 AUG 20		

MINIMUM REQUIRED GLASS AREA:
FIRST FLOOR OF SOUTH MALLORY STREET ELEVATION 53'-8" WIDE X 10'-0" TALL = 536.7 SF
REQUIRED GLASS AREA = 536.7 X 40% = 214.68 SF

GLASS AREA PROVIDED:

WINDOW A: 2'-8" X 6'-0" = 16.02 SF X 6 UNITS = 96.12 SF
WINDOW B: 2'-4" X 6'-0" = 13.98 SF X 2 UNITS = 27.96 SF
WINDOW D: 2'-0" X 6'-0" = 12.0 SF X 1 UNIT = 12.0 SF
ENTRY DOOR, SIDELIGHTS & TRANSOM = 9'-0" X 9'-0" = 81.0 SF
TOTAL GLASS AREA PROVIDED = 217.08 SF

SHEET NAME: PROPOSED BUILDING FOR AMERICAN LEGION POST 48 115 & 117 SOUTH MALLORY STREET HAMPTON, VA DWG TITLE

NO.	DATE	REVISION	BY	DRS
1	02 FEB 21	USE PERMIT		
2	04 MAR 21	USE PERMIT RE-SUBMITAL		

FILE NAME: 1987 A-1
DATE: 14 OCT 20
DRAWN BY: DRS
CHECKED BY: CMH

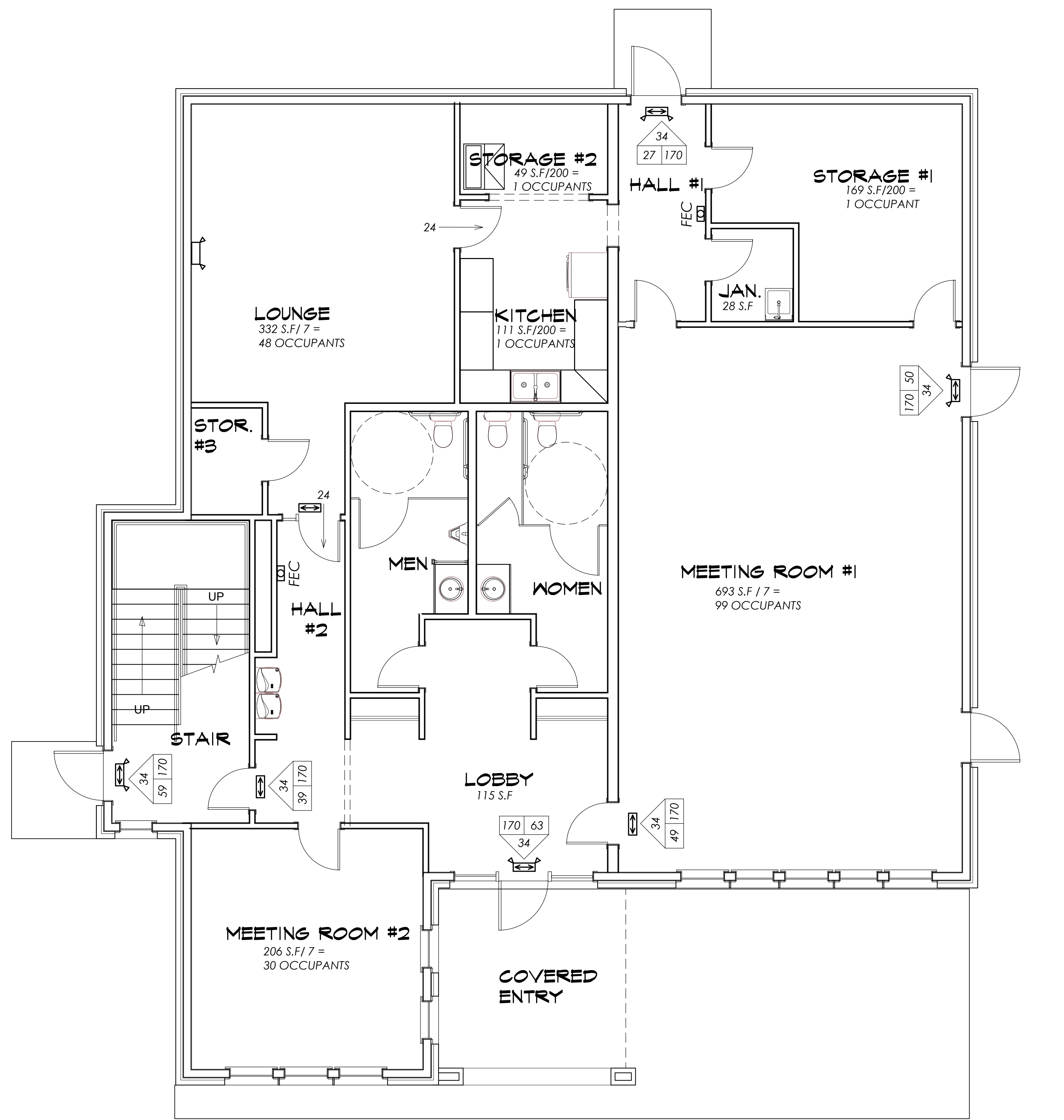
COMMONWEALTH OF VIRGINIA
C. MICHAEL HENRY
LICENSE NO. 5415
14 OCT 20
ARCHITECT

JOB NO.: 1987

T = 1

SHEET 1 OF 10

TITLE SHEET, CODE DATA, AND SHEET LIST



FIRST FLOOR GROSS AREA = 2,667 S.F.

FIRST FLOOR LIFE SAFETY PLAN
 SCALE: 1/4" = 1'-0"

LEGEND

- EMERGENCY LIGHTS
- FEC = FIRE EXTINGUISHER TYPE 2A/20B/C IN CABINET MOUNTED AT 48" A.F.F.
- ILLUMINATED EXIT SIGN
- EMERGENCY LIGHTS WITH ILLUMINATED EXIT SIGN
- EGRESS WIDTH AVAILABLE (DOOR WIDTH - 2')
- EGRESS OCCUPANT LOAD CAPACITY (EGRESS WIDTH / 0.2)

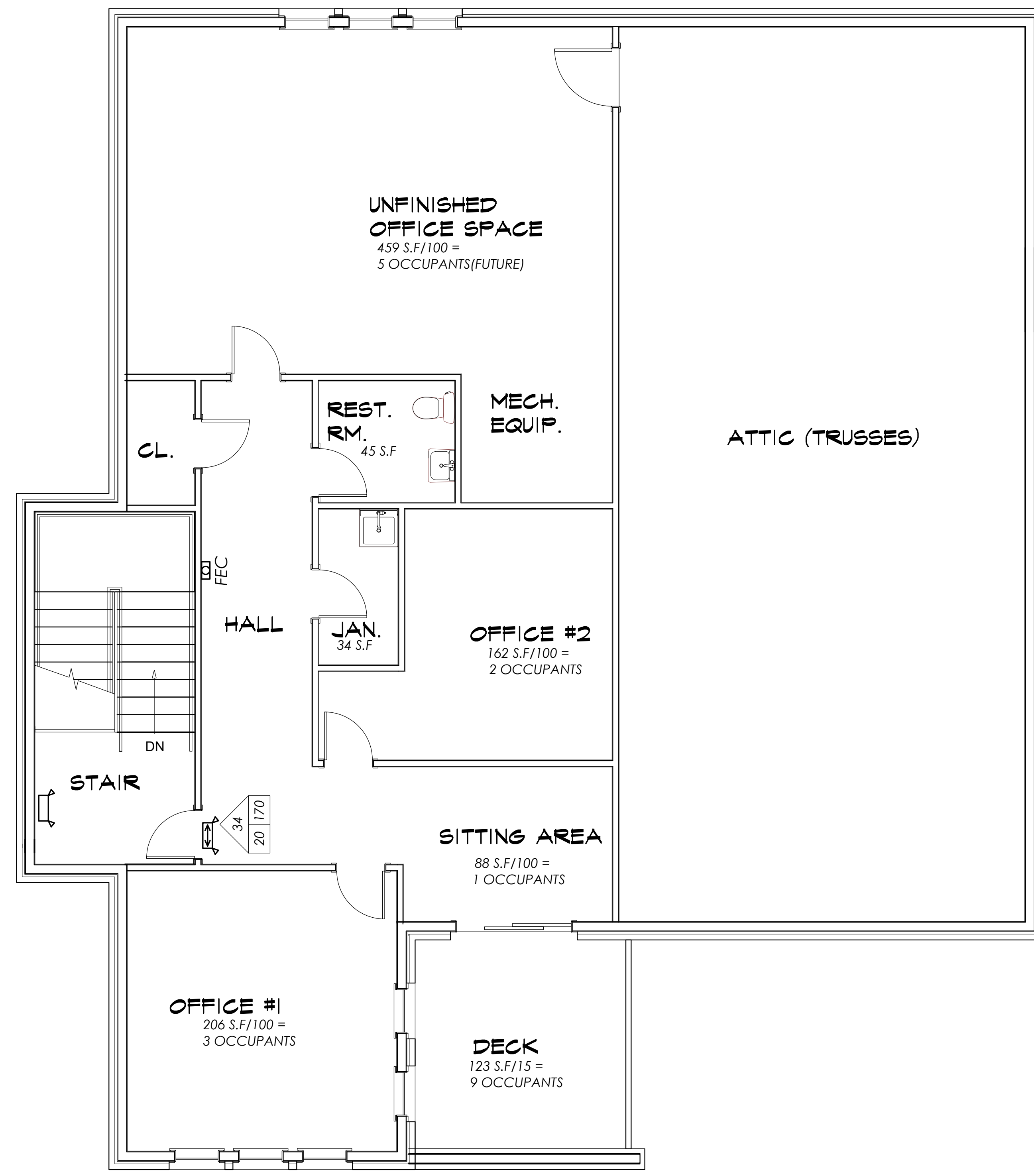
PROJECT NAME: PROPOSED BUILDING FOR AMERICAN LEGION POST 48 115 & 117 SOUTH MALLORY STREET HAMPTON, VA
 DWG TITLE: FIRST FLOOR LIFE SAFETY PLAN

NO.	DATE	REVISION
1	02 FEB 21	USE PERMIT
2	04 MAR 21	USE PERMIT RE-SUBMITAL

FILE NAME: 1987 A-1
 DATE: 14 OCT 20
 DRAWN BY: DRS/
 CHECKED BY: CMH



JOB NO.: 1987



SECOND FLOOR GROSS AREA = 1,612 S.F.
(EXCLUDES ATTIC)

SECOND FLOOR LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EMERGENCY LIGHTS
- FEC = FIRE EXTINGUISHER TYPE 2A/20B/C IN CABINET MOUNTED AT 48" A.F.F.
- ILLUMINATED EXIT SIGN

ACTUAL EGRESS OCCUPANT LOAD: 34 / 170
 EGRESS WIDTH AVAILABLE (DOOR WIDTH - 2")
 EGRESS OCCUPANT LOAD CAPACITY (EGRESS WIDTH / 0.2)

PROJECT NAME: PROPOSED BUILDING FOR AMERICAN LEGION POST 48
 115 & 117 SOUTH MALLORY STREET
 HAMPTON, VA
 DWG TITLE: SECOND FLOOR LIFE SAFETY PLAN

NO.	DATE	REVISION	BY
1	02 FEB 21	USE PERMIT	DRS
2	04 MAR 21	RE-PRINT	DRS

FILE NAME: 1987 A-1
 DATE: 14 OCT 20
 DRAWN BY: DRS/
 CHECKED BY: CMH



JOB NO.: 1987

A-1.1

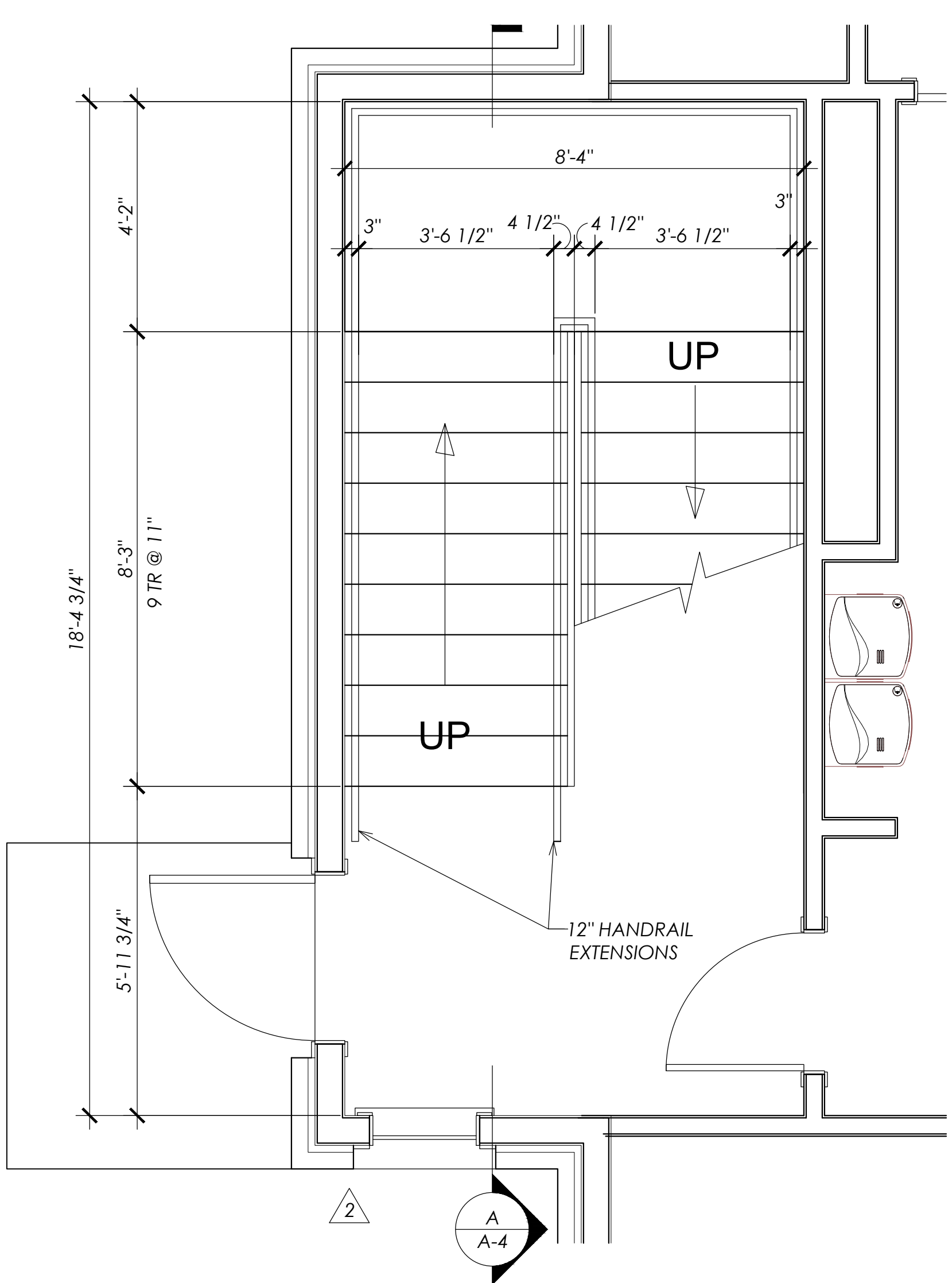
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2	04 MAR 21	USE PERMIT RE-SUBMITAL

FILE NAME: 19B7 A-1	DATE: 14 OCT 20
DRAWN BY: DR/DRS/	CHECKED BY: CMH

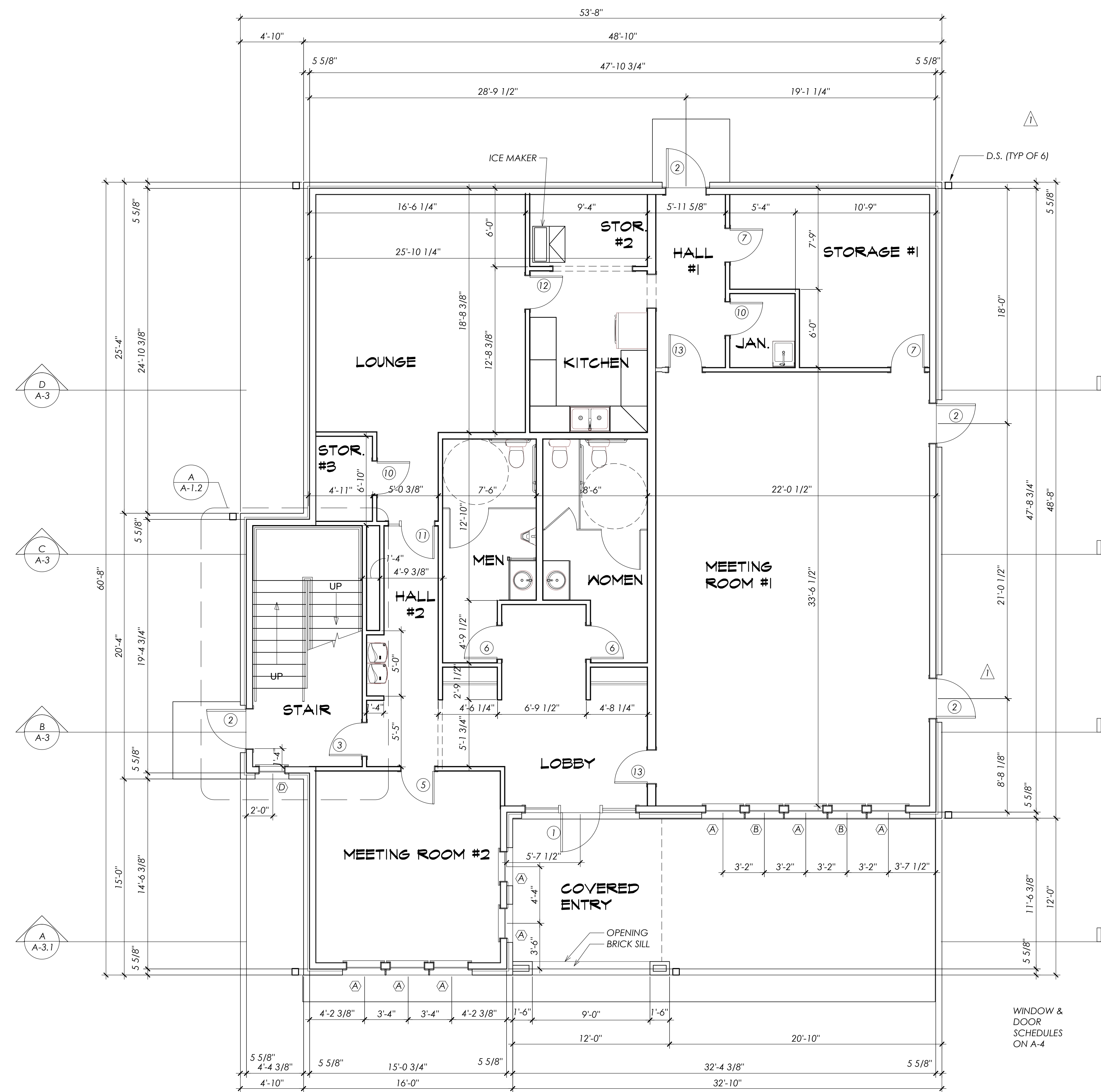


JOB NO.: 19B7

A-1.2



A
A-1.2 SCALE: 1/2" = 1'-0"
FIRST FLOOR STAIR DETAIL PLAN



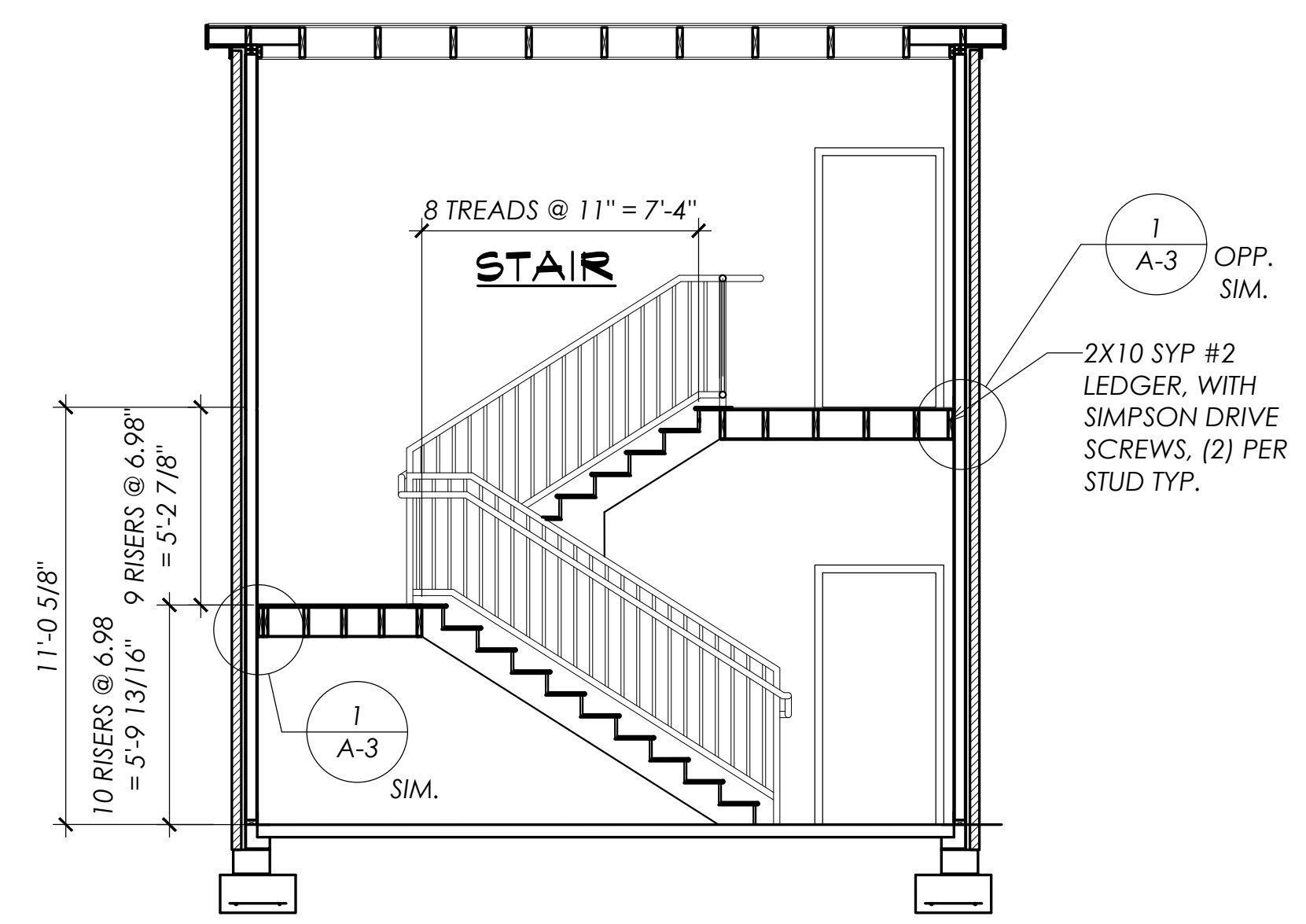
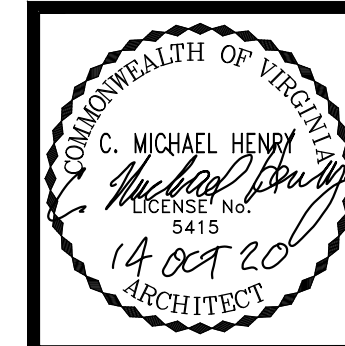
2
SCALE: 1/4" = 1'-0"
FIRST FLOOR PLAN

FIRST FLOOR GROSS AREA = 2,667 S.F.
SECOND FLOOR GROSS AREA = 1,612 S.F.
TOTAL GROSS AREA = 4,279 S.F.

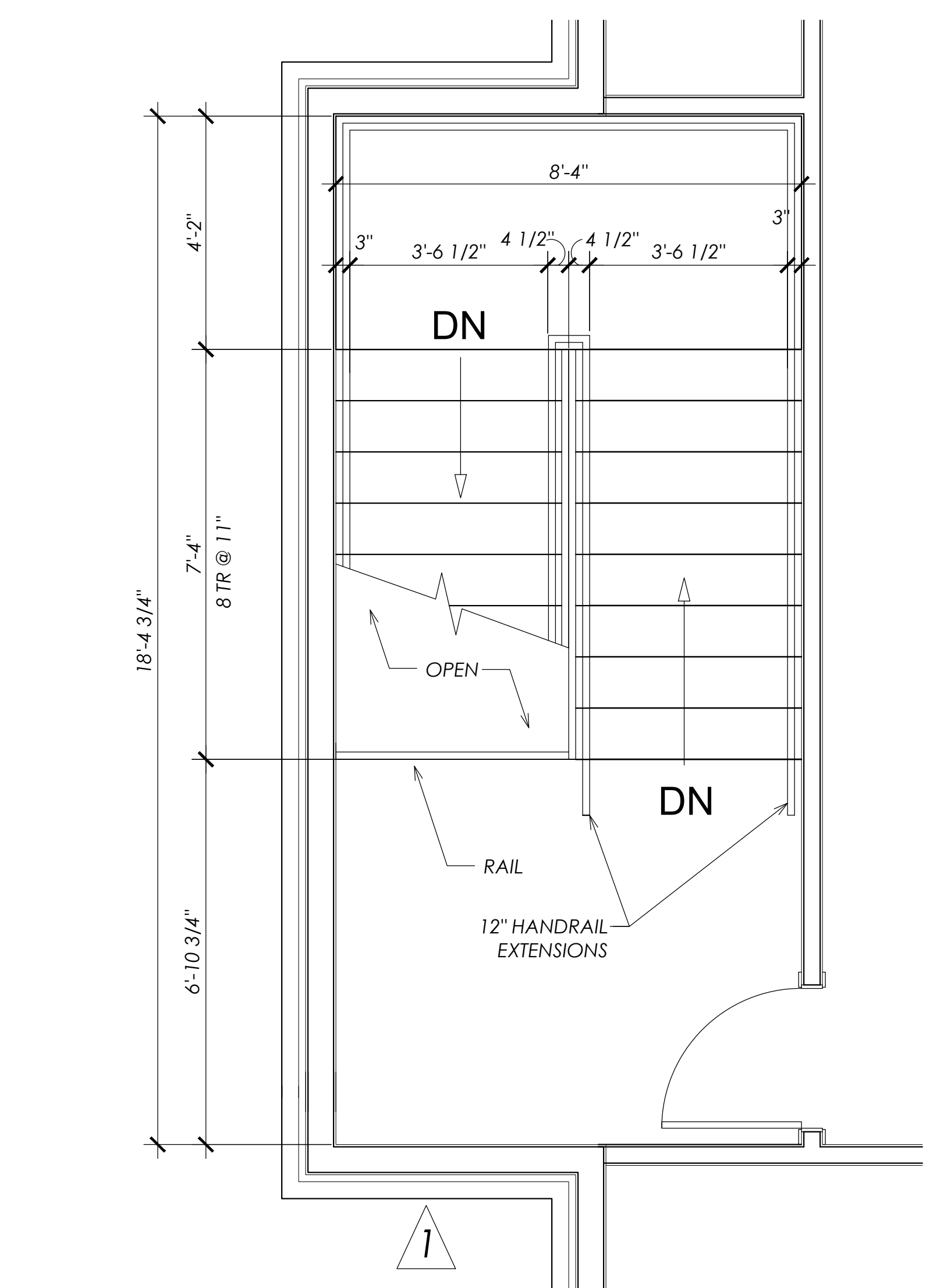
WINDOW & DOOR SCHEDULES ON A-4

NO.	DATE	REVISION
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2	04 MAR 21	USE PERMIT RE-SUBMITAL

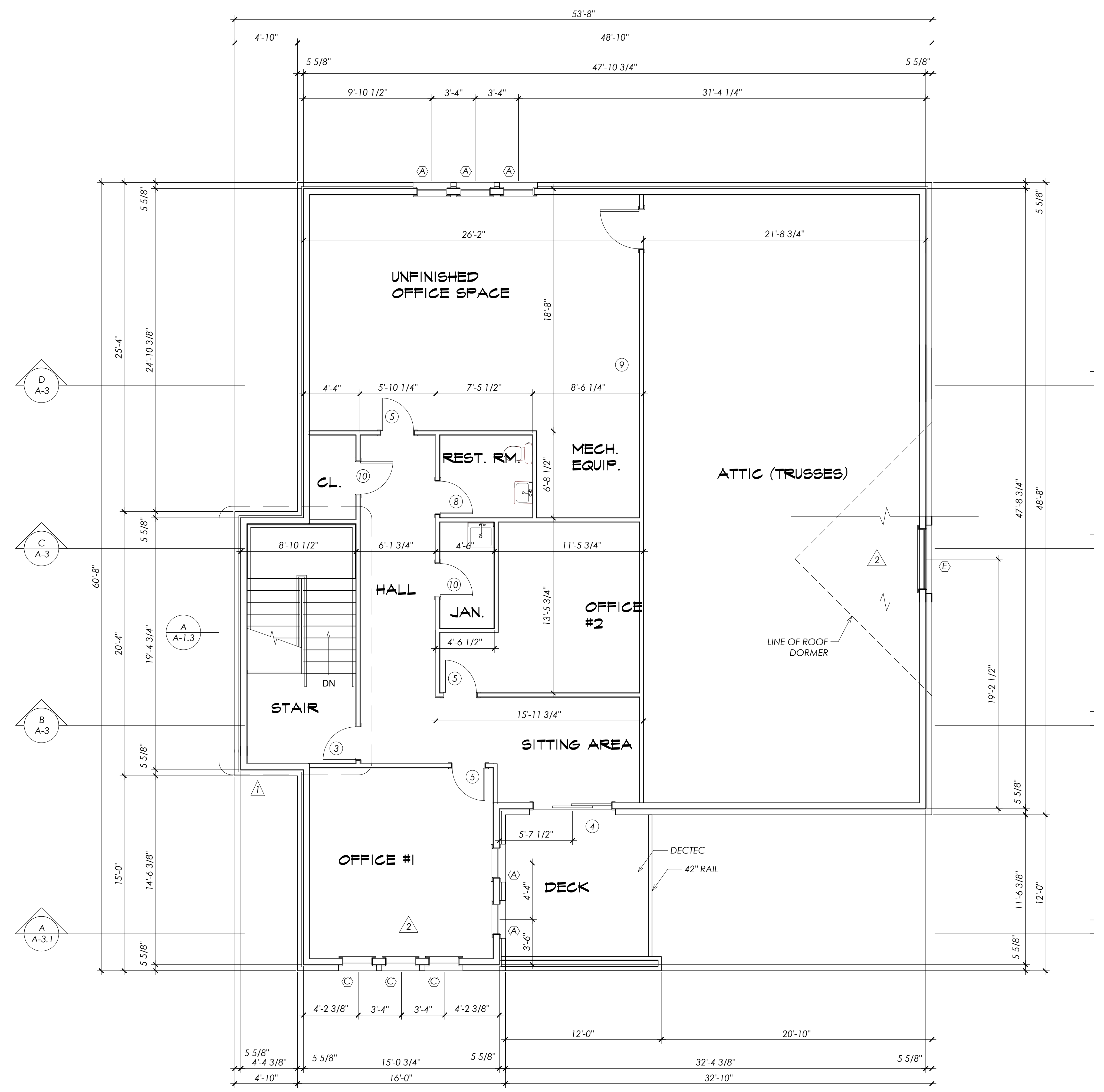
FILE NAME: 19B7 A-1	DATE: 14 OCT 20	DRAWN BY: DRS/	CHECKED BY: CMH
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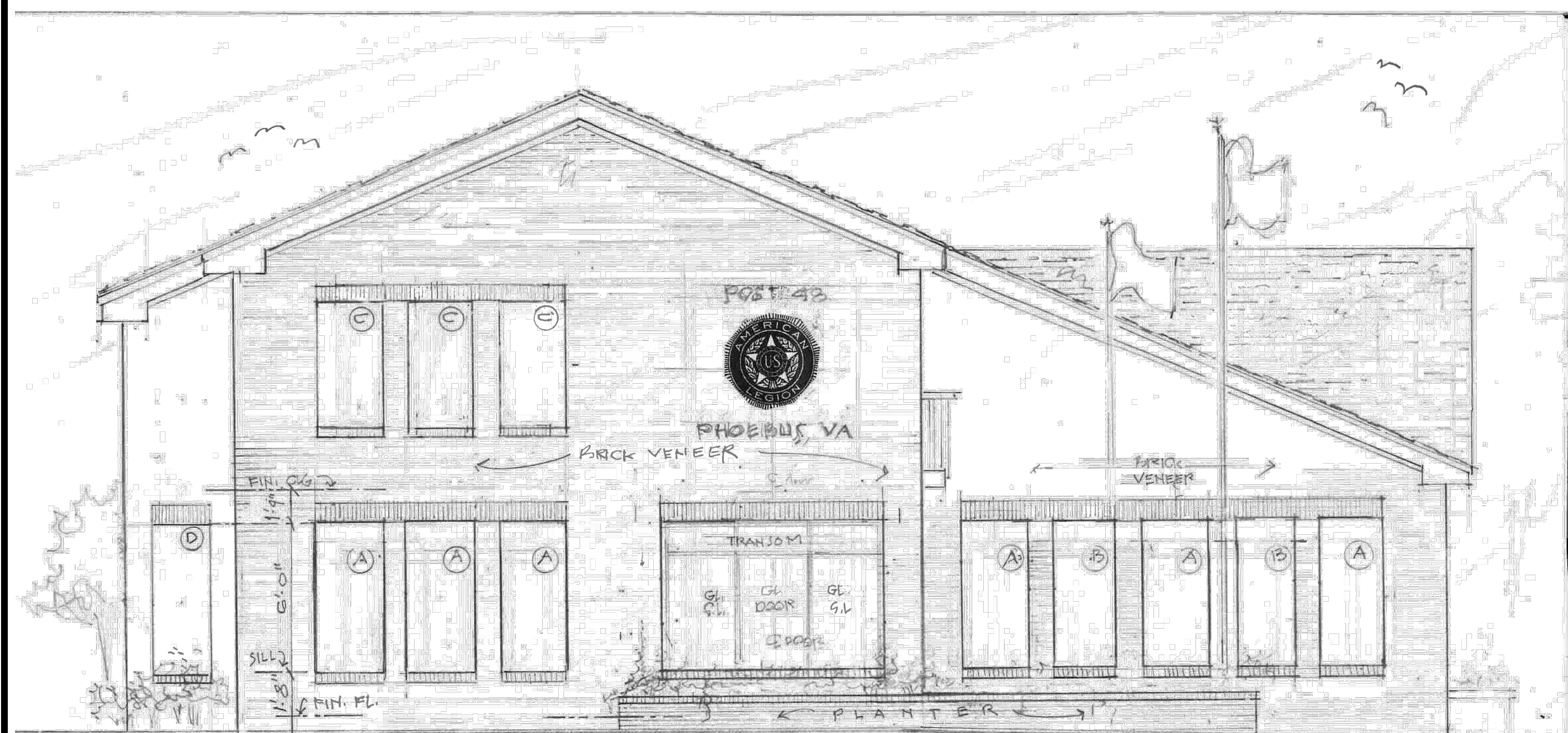
STAIR SECTION
SCALE: 1/4" = 1'-0"



SECOND FLOOR STAIR DETAIL PLAN
SCALE: 1/2" = 1'-0"

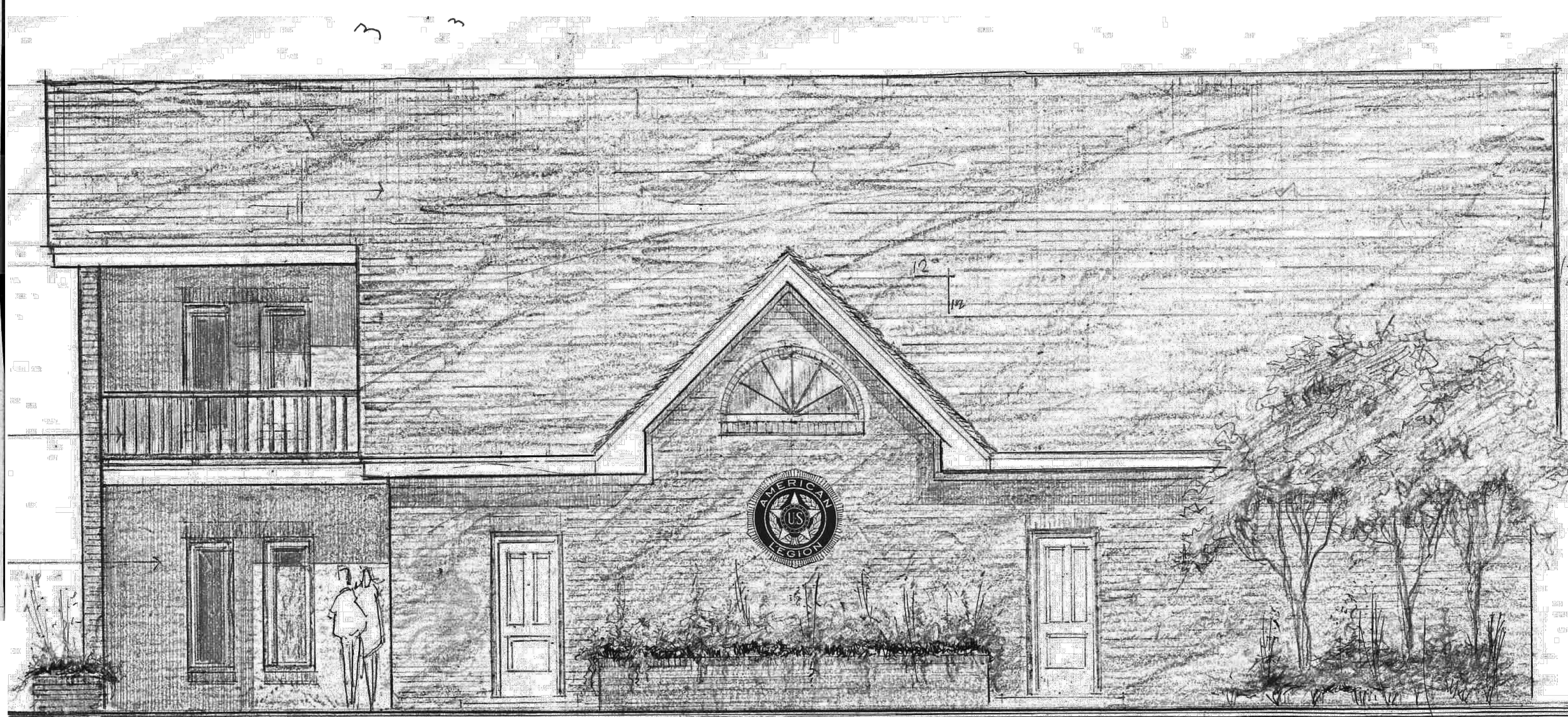


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



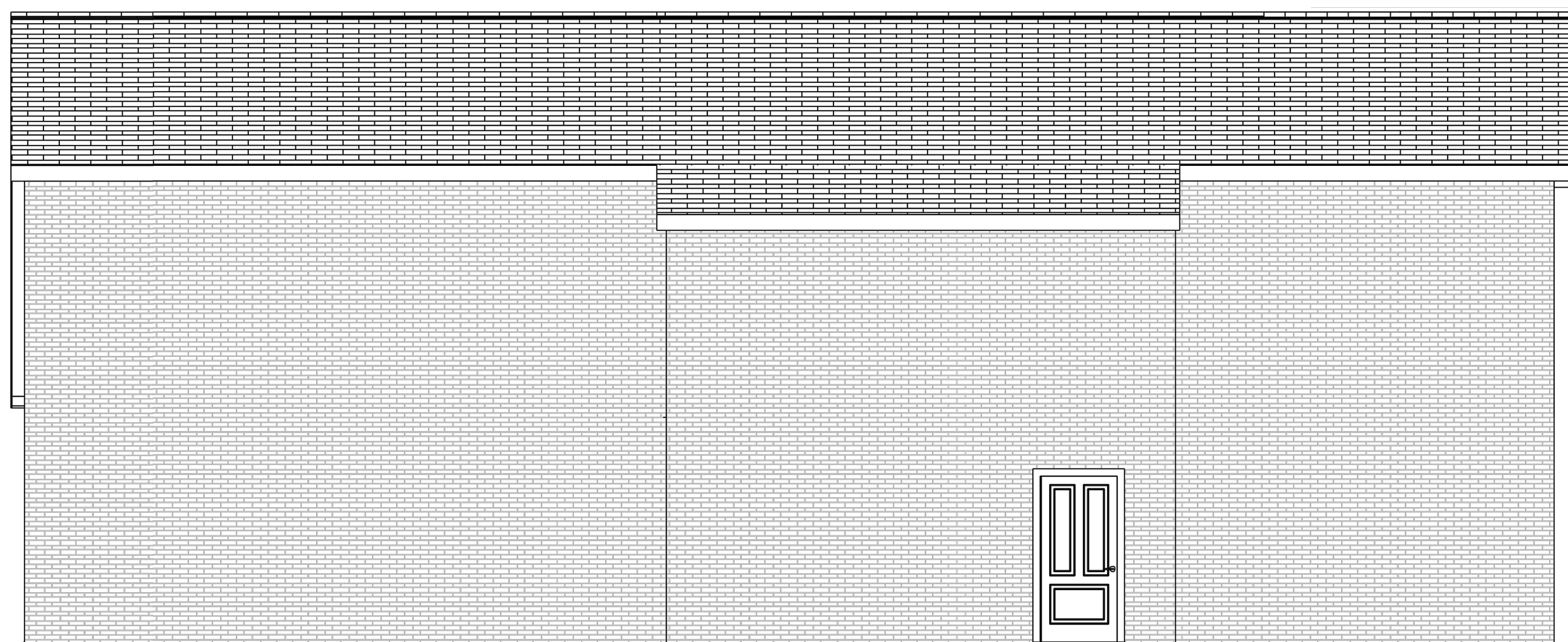
FRONT ELEVATION - SOUTH MALLORY ST.
SCALE: 1/4" = 1'-0"

FRONT ELEVATION \triangle
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - LANCER STREET

RIGHT ELEVATION \triangle
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

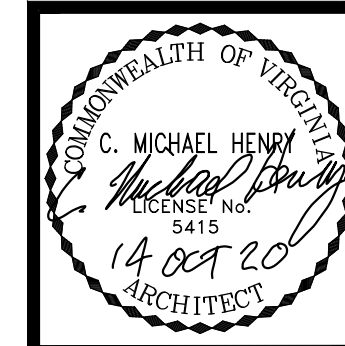


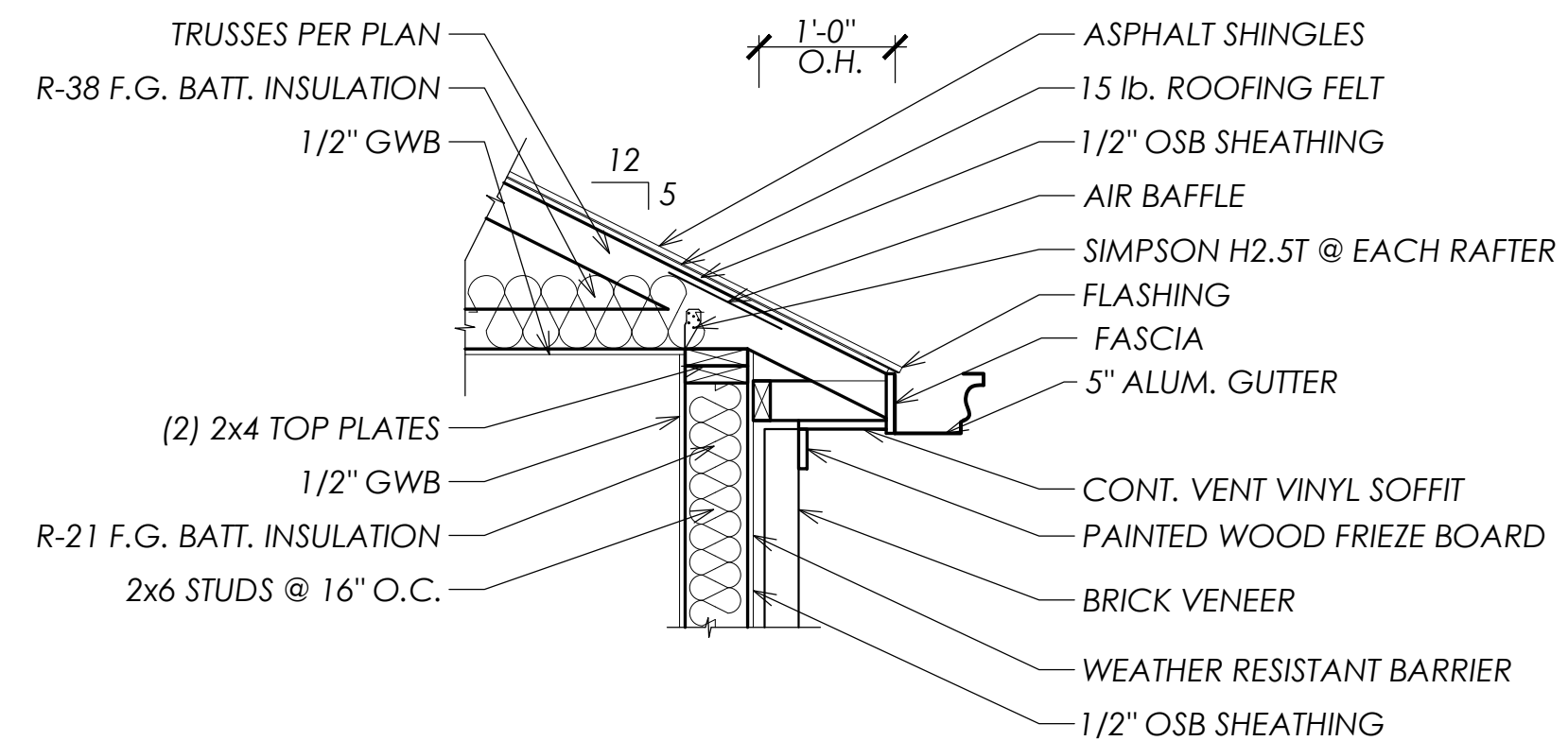
REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT NAME
PROPOSED BUILDING FOR
AMERICAN LEGION POST 48
115 & 117 SOUTH MALLORY STREET
HAMPTON, VA
DWG TITLE
EXTERIOR VIEWS

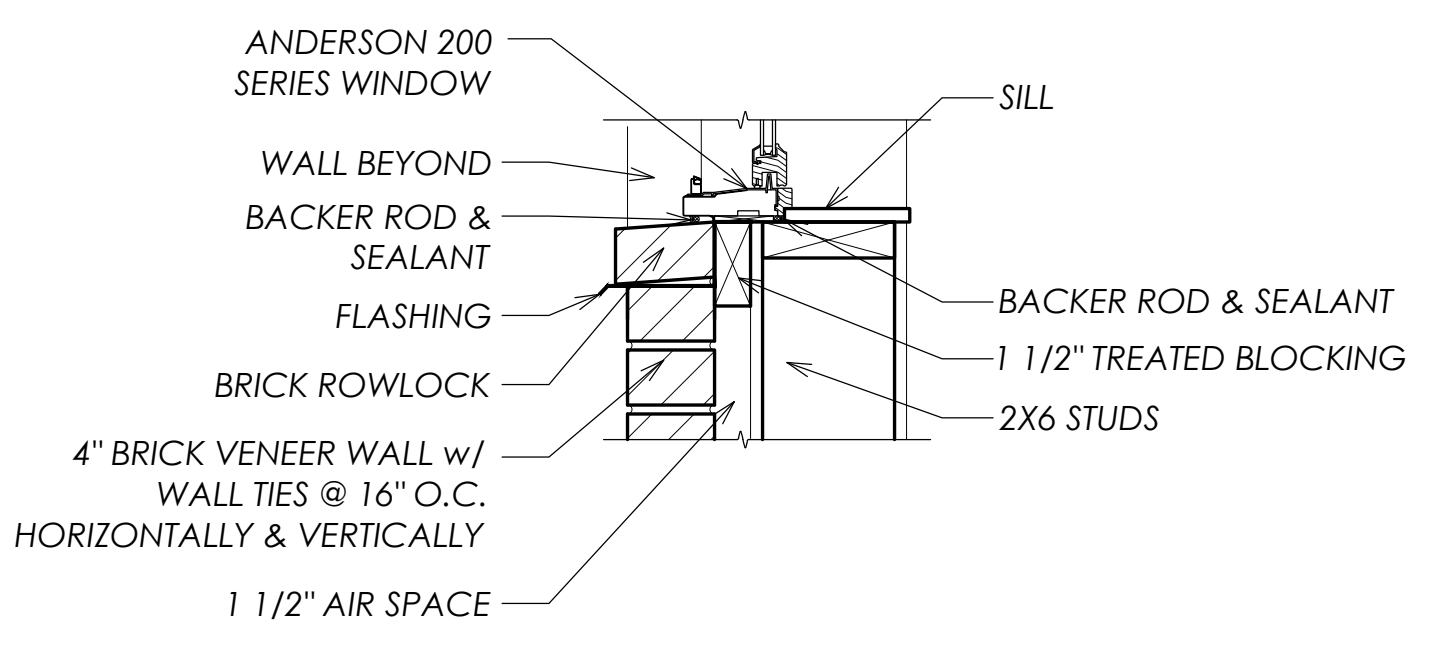
NO.	DATE	REVISION	BY
1	02 FEB 21	USE PERMIT	DRS
2	04 MAR 21	USE PERMIT RE-SUBMITAL	DRS

FILE NAME: 1987 A-1
DATE: 14 OCT 20
DRAWN BY: DRS
CHECKED BY: CMH

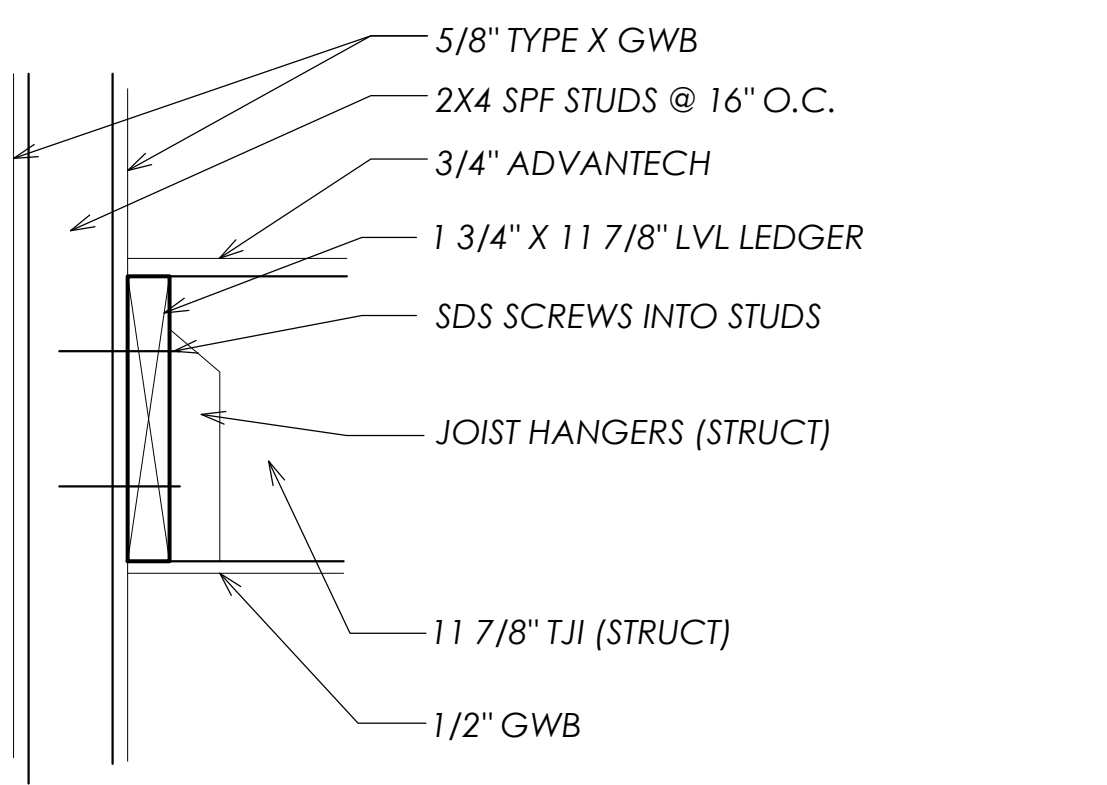




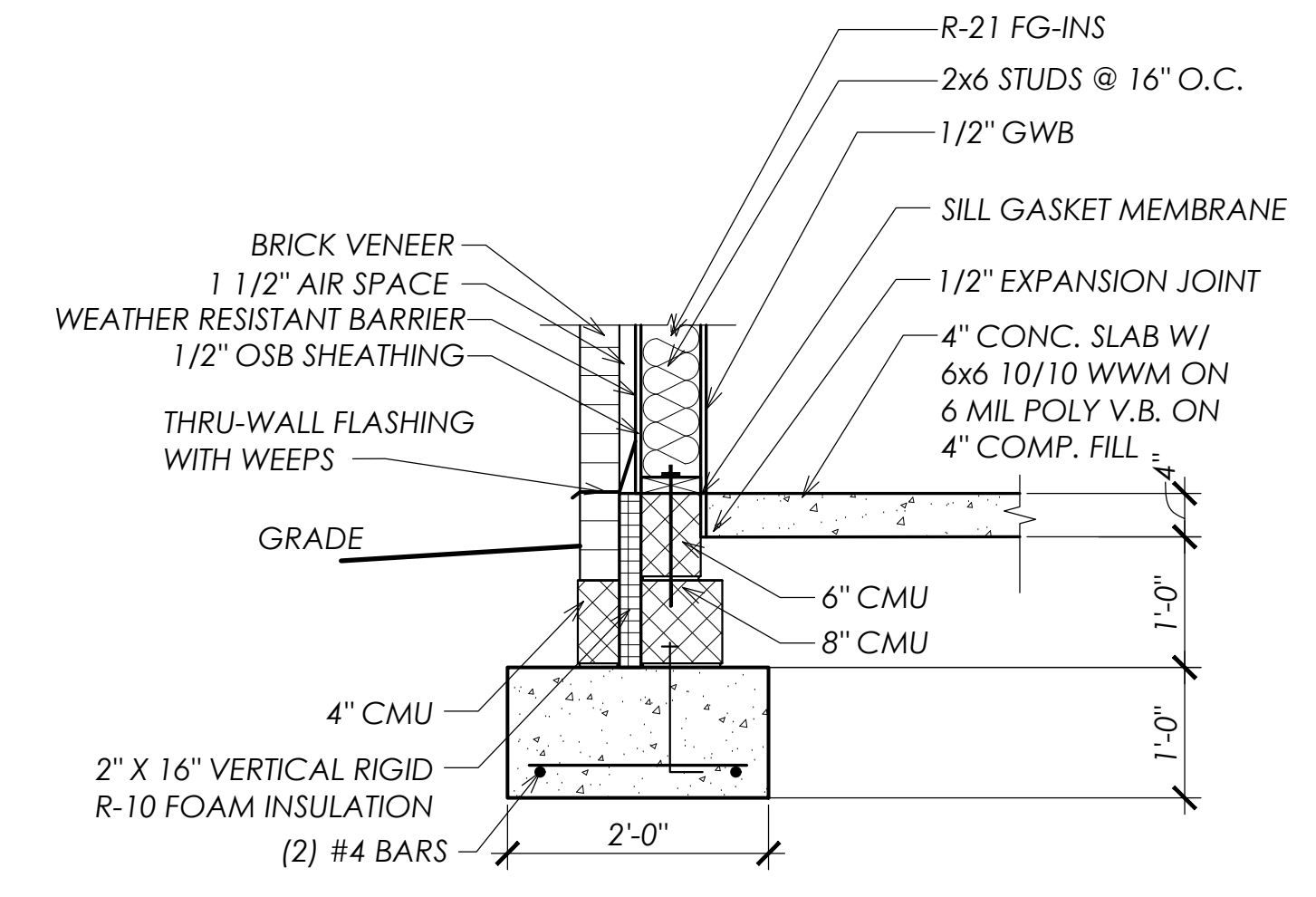
4 EAVE DETAIL
A-3 SCALE: 3/4" = 1'-0"



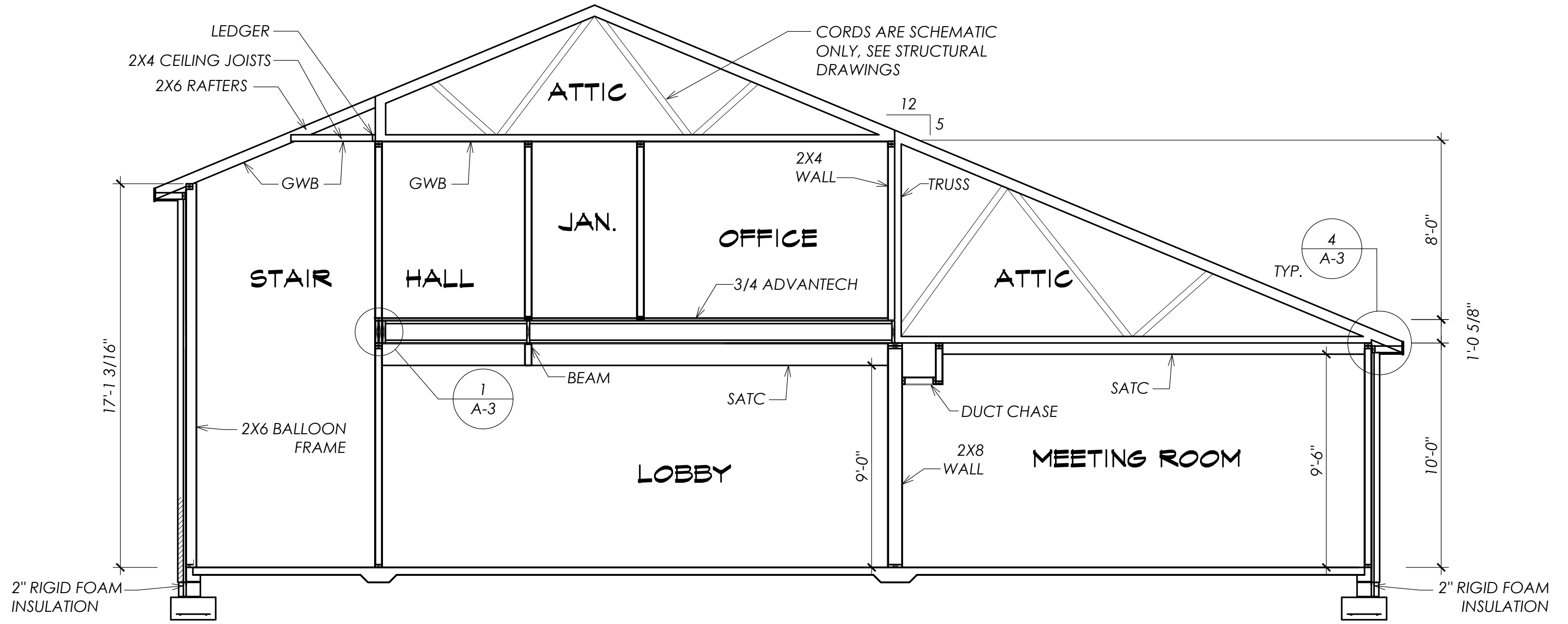
3 SILL DETAIL
A-3 SCALE: 3" = 1'-0"



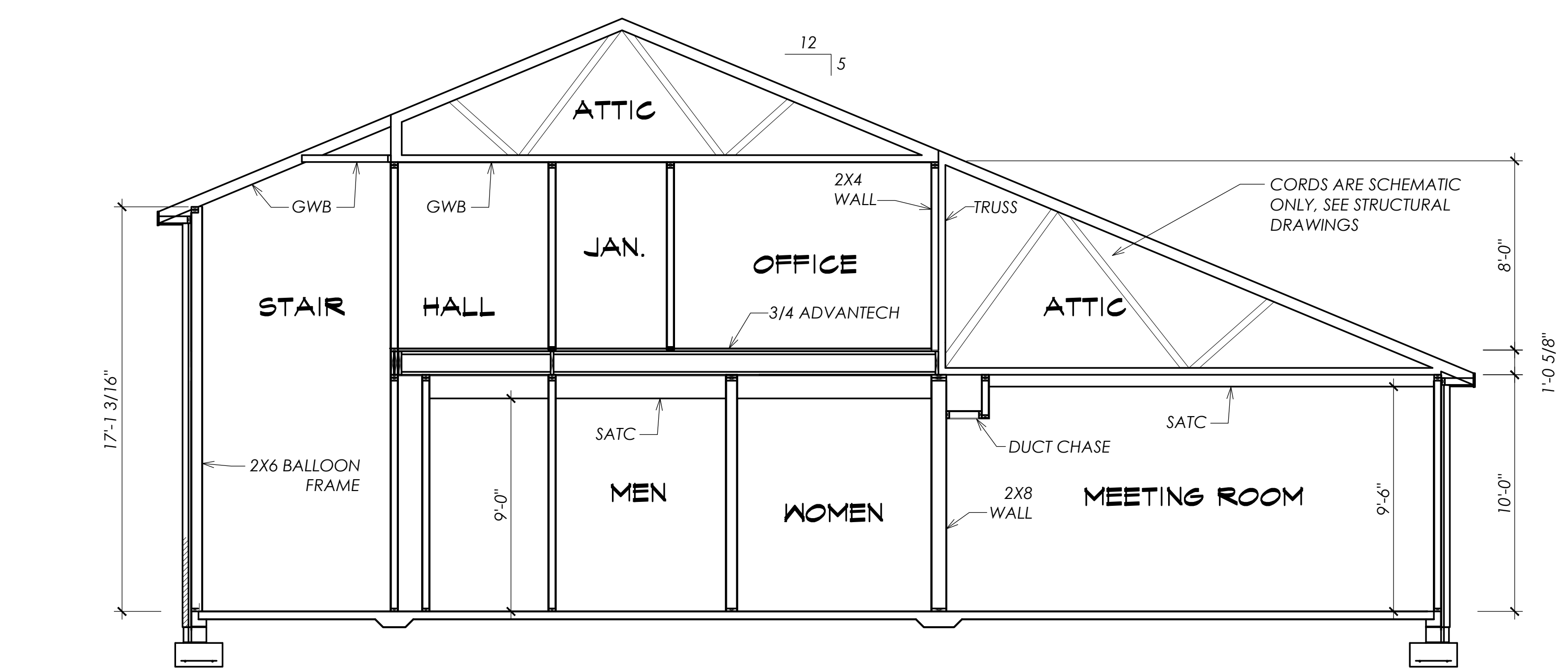
1 LEDGER AT RATED WALL
A-3 SCALE: 1 1/2" = 1'-0"



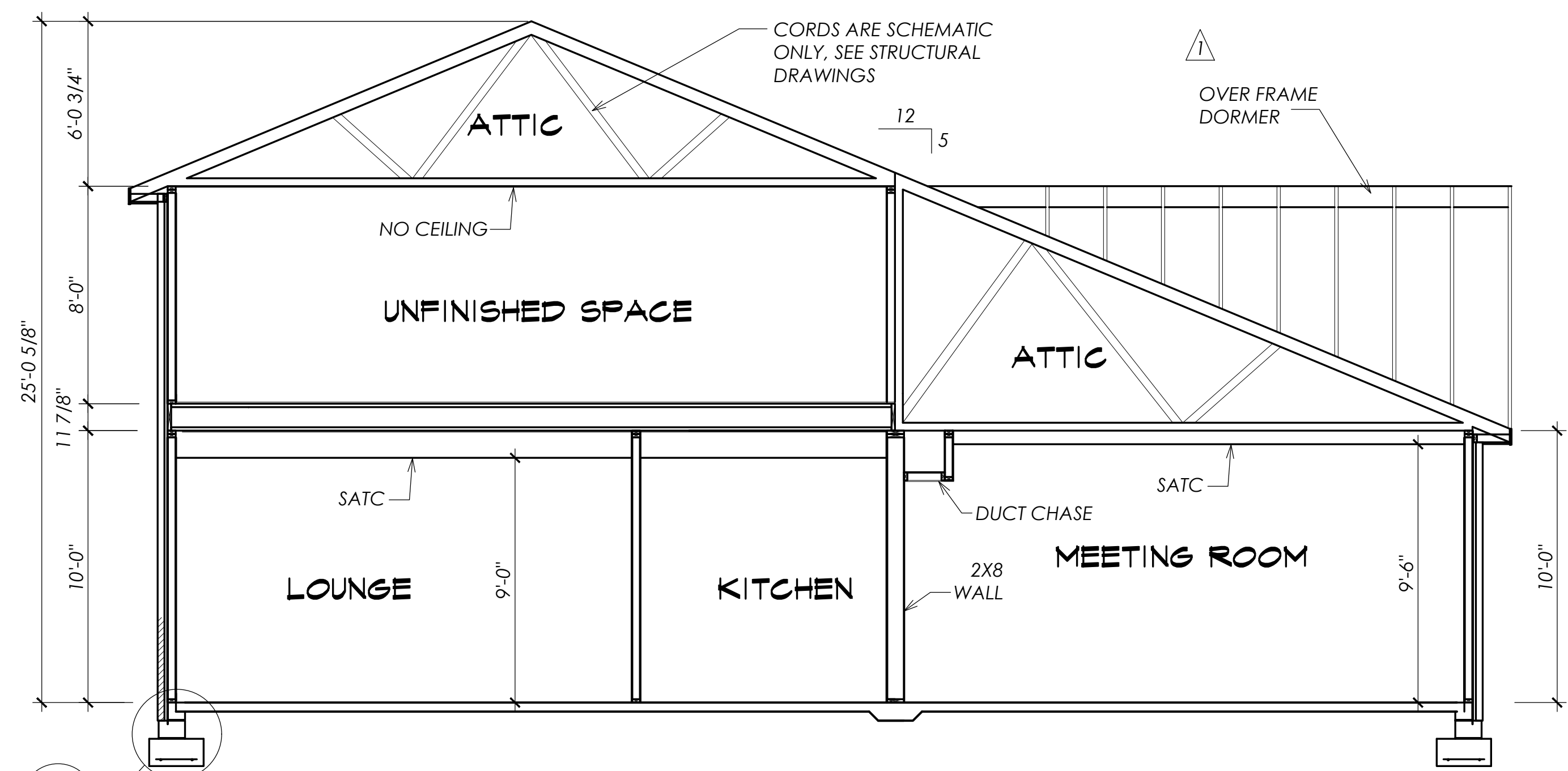
2 PERIMETER FOUNDATION DETAIL
A-3 SCALE: 3/4" = 1'-0"



B SECTION
A-3 SCALE: 1/4" = 1'-0"



C SECTION
A-3 SCALE: 1/4" = 1'-0"

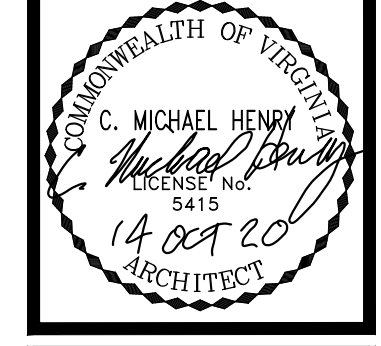


D SECTION
A-3 SCALE: 1/4" = 1'-0"

PROPOSED BUILDING FOR
AMERICAN LEGION POST 48
115 & 117 SOUTH MALLORY STREET
HAMPTON, VA
DWG TITLE
SECTIONS & DETAILS

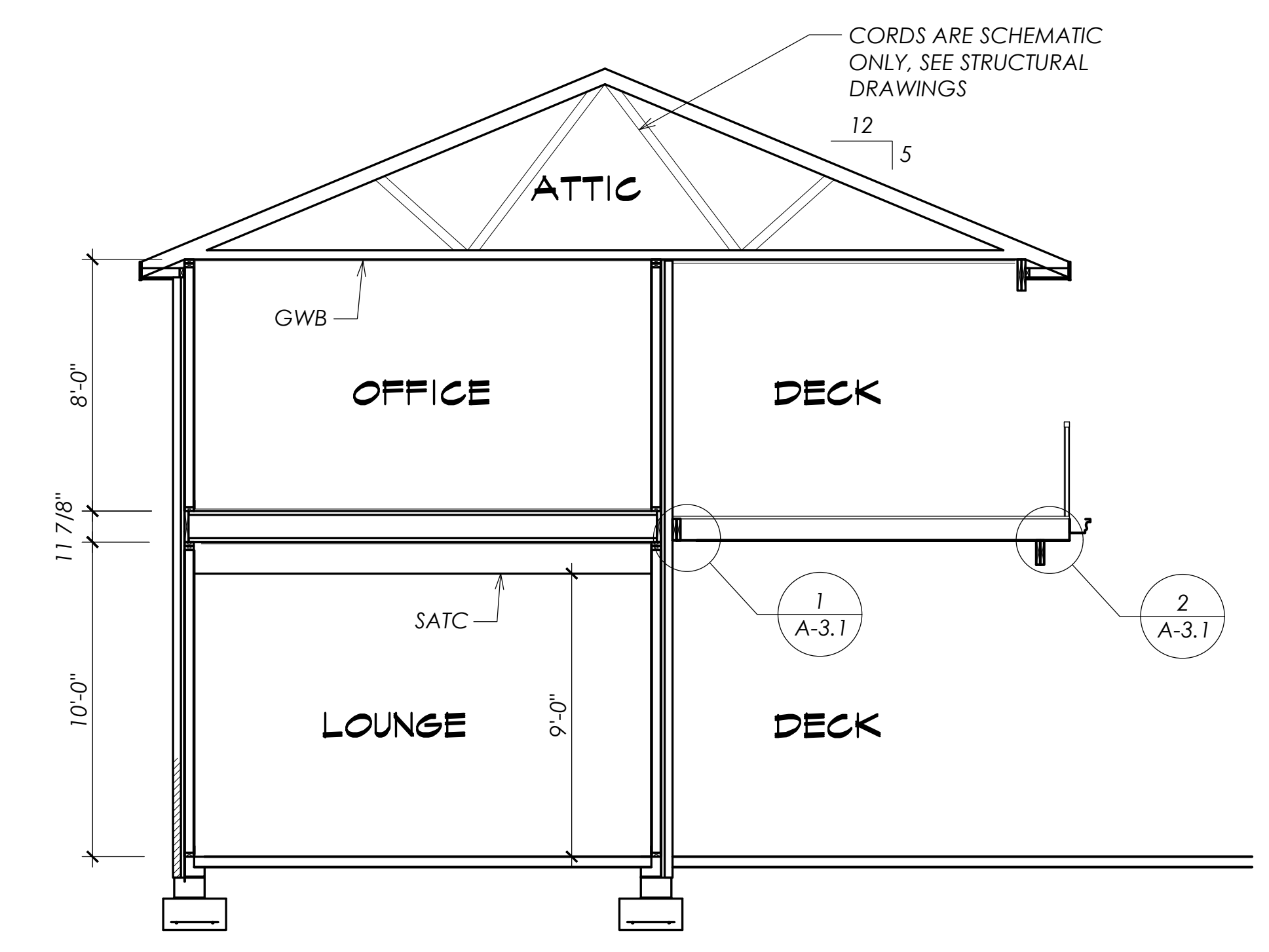
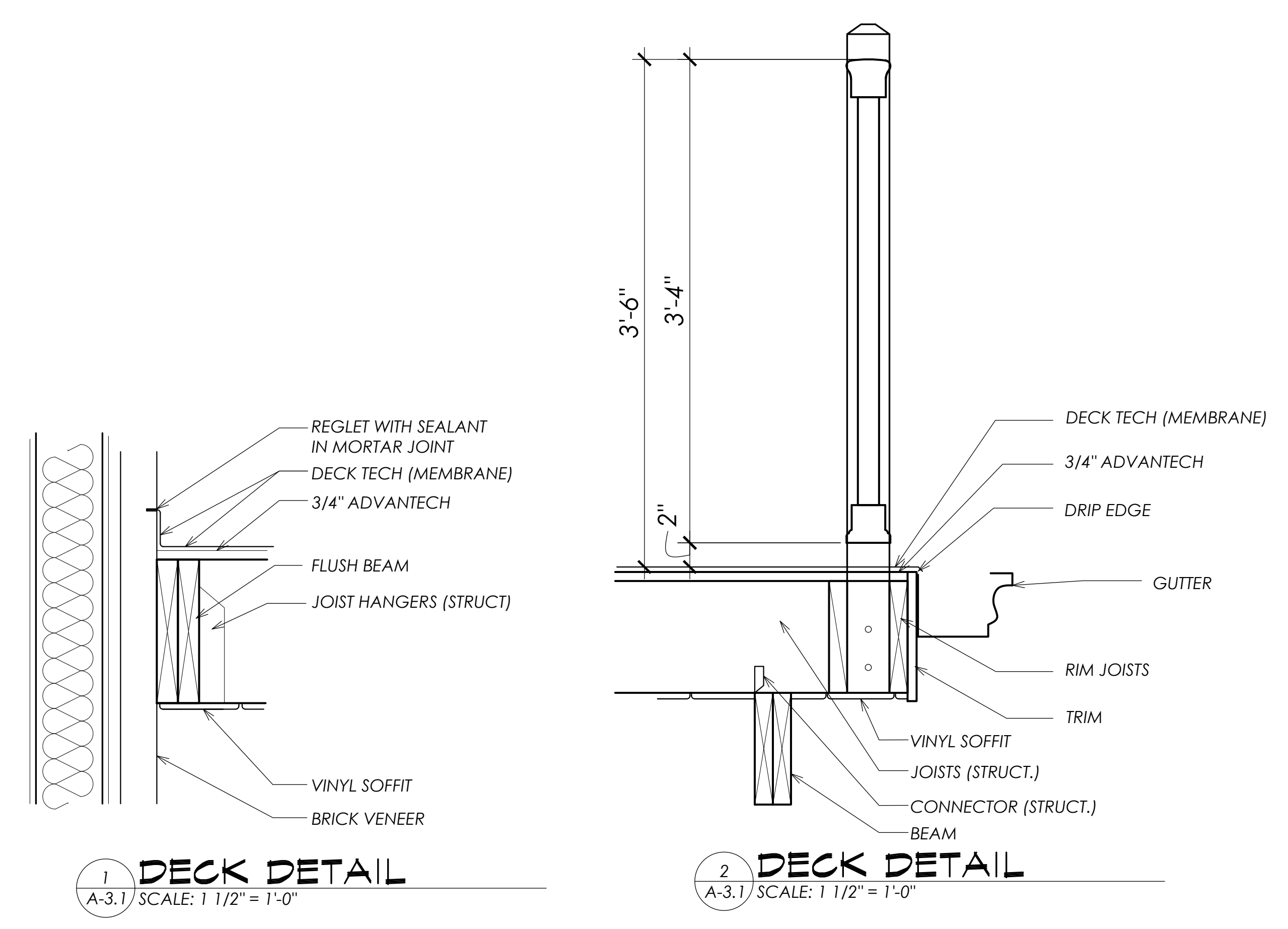
NO.	DATE	REVISION
1	02 FEB 21	USE PERMIT
2	04 MAR 21	RE-PRINT

FILE NAME: 1987 A-1
DATE: 14 OCT 20
DRAWN BY: TMV
CHECKED BY: CMH



JOB NO.: 1987

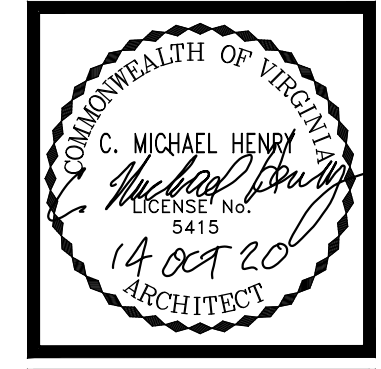
A-3



PROJECT NAME
**PROPOSED BUILDING FOR
 AMERICAN LEGION POST 48
 115 & 117 SOUTH MALLORY STREET
 HAMPTON, VA**
 DWG TITLE
BUILDING SECTIONS AND DETAILS

NO.	DATE	REVISION	BY
1	02 FEB 21	USE PERMIT	DRS
2	04 MAR 21	RE-PRINT	DRS

FILE NAME: 1987 A-1
 DATE: 14 OCT 20
 DRAWN BY: DRS
 CHECKED BY: CMH



DOOR SCHEDULE

MARK	DOOR					FRAME MAT'L	FIRE RATING	DESCRIPTION	NOTES
	WIDTH	HEIGHT	MAT'L	TYPE	THK.				
①	3'-0"	7'-0"	SF.	GL	1 3/4"	S.F.	----	EXTERIOR, SWING(SL)	1,2,3,4,6,11
②	3'-0"	7'-0"	HM.	FLUSH	1 3/4"	H.M.	----	EXTERIOR, SWING	2,3,4,6
③	3'-0"	7'-0"	HM.	FLUSH	1 3/4"	H.M.	45 min	INTERIOR, SWING	2,4,5,6
④	6'-0"	7'-0"	SF.	GL	1 3/4"	S.F.	----	EXTERIOR, SLIDING	2,9
⑤	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	----	INTERIOR, SWING	2,9
⑥	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	----	INTERIOR, SWING	2,6,7
⑦	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	20 MIN.	INTERIOR, SWING	2,6,10
⑧	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	----	INTERIOR, SWING	2,13
⑨	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	----	INTERIOR, SWING, ATTIC ACCESS	2,3,8
⑩	3'-0"	7'-0"	SF.	FLUSH	1 3/4"	S.F.	----	INTERIOR, SWING	2,9
⑪	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	----	INTERIOR, SWING (SL)	2,8,11
⑫	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	20 MIN.	INTERIOR, SWING	2,6,8
⑬	3'-0"	7'-0"	SCW.	FLUSH	1 3/4"	H.M.	----	INTERIOR, SWING	2,4

NOTE 1: STOREFRONT DOORS SHALL HAVE 10" HIGH BOTTOM RAIL
 NOTE 2: ALL DOOR HANDLES, PULLS, LATCHES AND LOCKS SHALL BE INSTALLED AT 36" A.F.F. PER 1008.1.8.2
 NOTE 3: PROVIDE WEATHER STRIPPING AND ADA THRESHOLD
 NOTE 4: PROVIDE PANIC/EGRESS HARDWARE AND CYLINDER LOCK
 NOTE 5: 3x30 FIXED SAFETY GLASS
 NOTE 6: PROVIDE CLOSER
 NOTE 7: PROVIDE PUSH PULL
 NOTE 8: PROVIDE LEVER LATCH SET
 NOTE 9: OFFICE LOCK
 NOTE 10: STORAGE LOCK SET
 NOTE 11: TEMPERED 3'-0"X7'-0" SIDELITES AT EACH SIDE PLUS (3)3'-0" X 2'-0" TRANSOM UNITS
 NOTE 12: 1'-0" SIDELITE TEMPERED
 NOTE 13: PRIVACY LOCK SET
 SF SHALL BE WHITE FACTORY PAINTED FINISH
 SCW= SOLID CORE BIRCH VENEER STAIN & POLYURETHANE
 ALL GLASS IN DOORS SHALL BE TEMPERED

WINDOW SCHEDULE

NO.	NOMINAL SIZE W x H	DESCRIPTION	FRAME FINISH	GLAZING
(A)	2'-8" x 6'-0"	FIXED	VINYL	NOTE 1
(B)	2'-4" x 6'-0"	FIXED	VINYL	NOTE 1
(C)	2'-8" x 5'-0"	FIXED	VINYL	NOTE 1
(D)	2'-0" x 6'-0"	FIXED	VINYL	NOTE 1
(E)	1/2 ROUND 4'-8"	FIXED	VINYL	NOTE 1

NOTE 1: ALL GLASS SHALL BE LIGHT GRAY SUPER NEUTRAL 68, U=0.29 SHGC=0.30 1" INSULATED, TEMPERED AS NOTED

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HIGHT	MILLWORK / TRIM	NOTES
			NORTH	SOUTH	WEST	EAST				
LOBBY & HALLS	LVT-1	VB-1	P-1	P-1	P-1	P-1	SATC-1	9'-0"	P-11	1
STORAGE 1, 2 & 3	LVT-1	VB-1	P-1	P-1	P-1	P-1	----	----	P-11	1
MEETING 1 & 2	LVT-1	VB-1	P-1	P-1	P-1	P-1	----	----	P-11, P-12	1, 2
RESTROOMS	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0"	P-11	1, 3
KITCHEN	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0"	P-11	1
JANITOR/CL	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0"	P-11	1
STAIR	LVT-1	VB-1	P-2	P-2	P-2	P-2	SATC-1	8'-0"	P-11	1

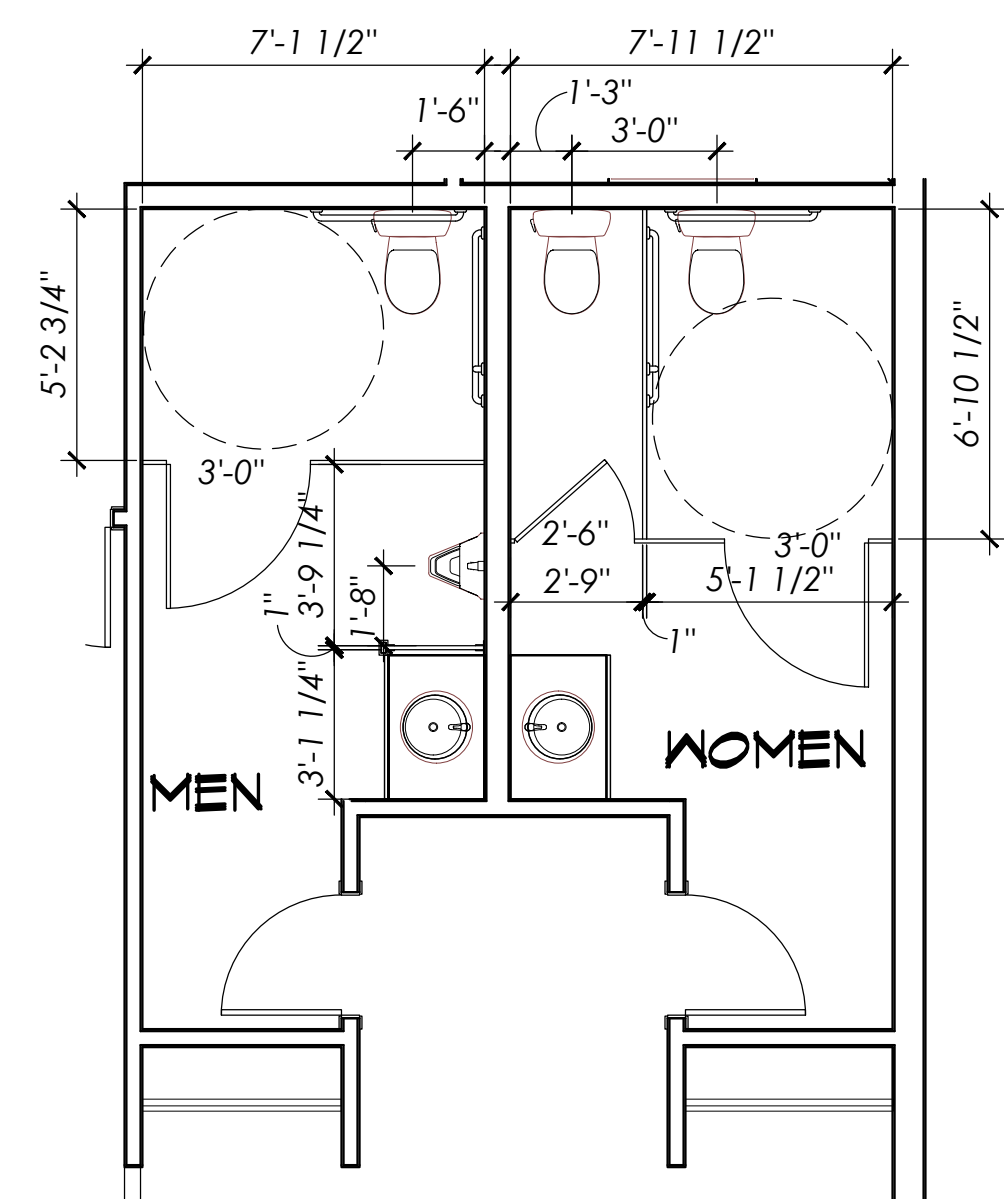
NOTES:
 1. PROVIDE DRYWALL (GWB) WITH LEVEL 4 FINISH
 2. PROVIDE 5/8" GWB FROM SLAB TO 12'-0" AFF. LEAVE VINYL FACED INSULATION EXPOSED TO ROOF.
 3. TILE TO 4' A.F.F. (OPTION)

FLOOR FINISH:
 CNC-1 SEALED CONC. SLAB
 LVT-1 LUXURY VINYL TILE
 COLOR AND STYLE AS SELECTED BY OWNER

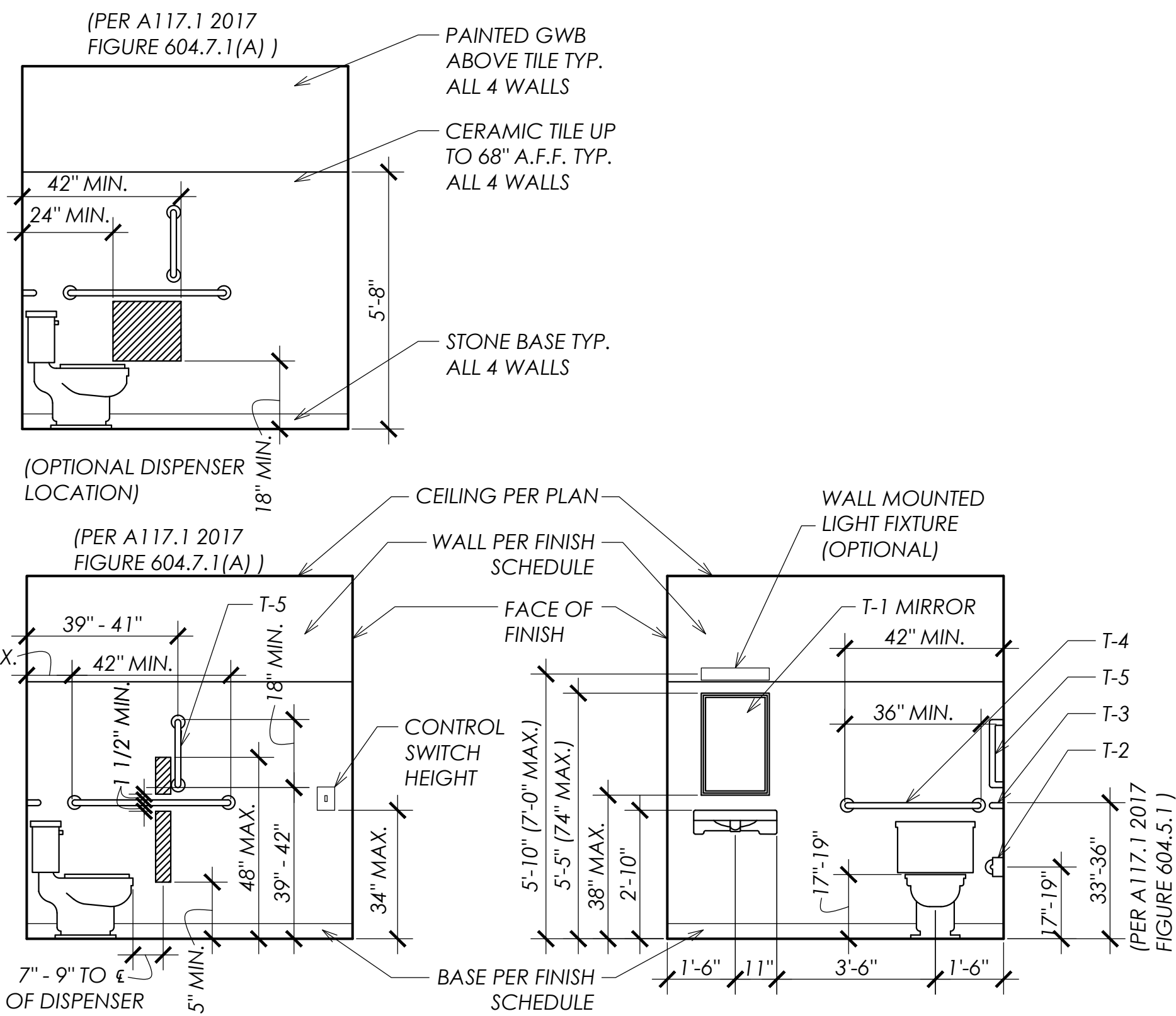
BASE:
 VB-1 4" VINYL COVE BASE
 COLOR AS SELECTED BY OWNER
 VB-2 4" VINYL BASE
 COLOR AS SELECTED BY OWNER
 EPOXY ROLLED UP EPOXY

CEILING:
 SATC-1 2'-0" x 2'-0" SQUARE EDGE FISSURE
 COLOR: WHITE HEIGHT PER SCHEDULE

MILLWORK / TRIM:
 P-11 HOLLOW METAL FRAMES WILL HAVE 2 COATS OF OIL BASED PAINT
 COLOR AS SELECTED BY OWNER
 EXPOSED STRUCTURE WILL HAVE 1 COAT OF WHITE OIL BASED PAINT
 P-12



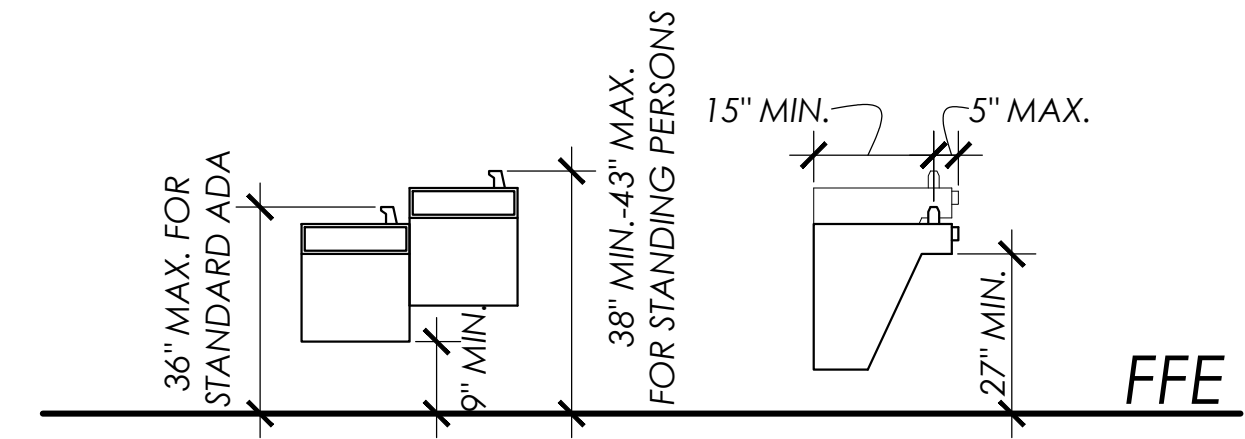
RESTROOM DETAIL PLAN
 SCALE: 1/4" = 1'-0"



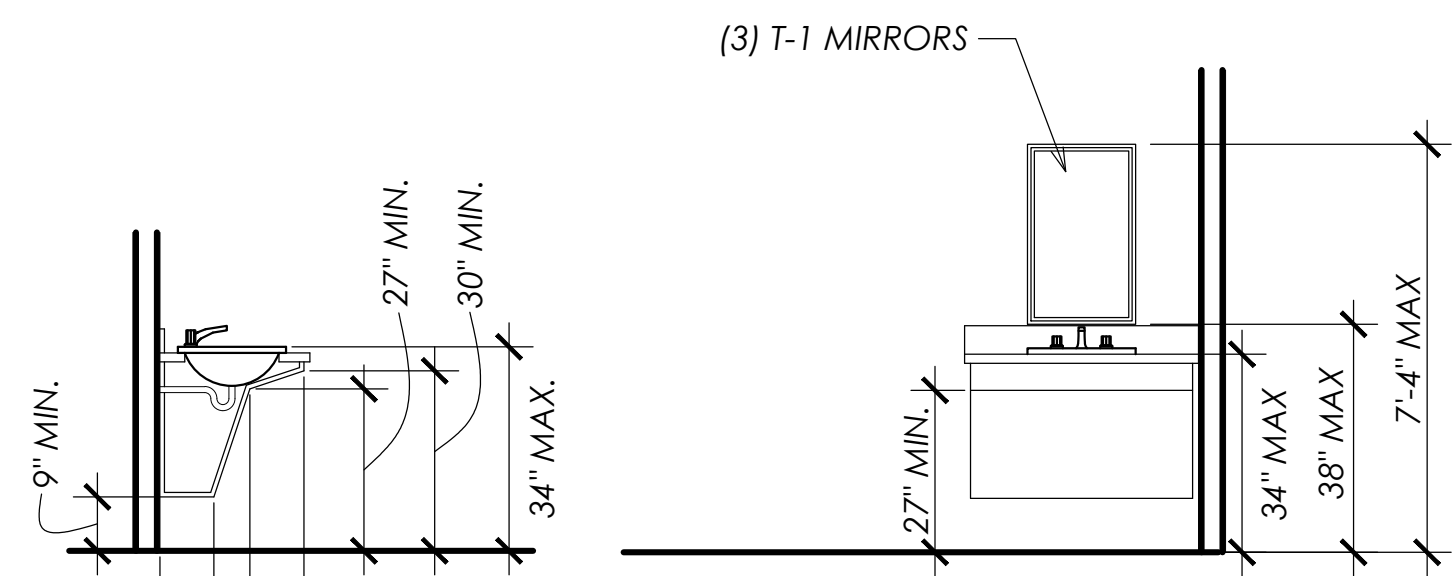
ELEVATION (A)
 SCALE: 3/8" = 1'-0" (FOR MOUNTING HEIGHTS ONLY)

NOTE:
 GRAB BAR ON SIDE WALL (T-3) TO BE OFFSET 12" FROM THE REAR WALL (T-4). ALL GRAB BARS ARE TO WITHSTAND A STRESS FORCE OF 250 lbs. IN ANY DIRECTION.

TABLE 2902.1 MIN. NO. OF PLUMBING FACILITIES FOR BUSINESS:
 WATER CLOSETS = 1 PER 25
 LAVATORIES = 1 PER 40
 DRINKING FOUNTAINS = 1 PER 100
 OTHER = 1 SERVICE SINK



WATER FOUNTAIN (B)
 SCALE: 3/8" = 1'-0" ACCESSIBLE



INTERIOR ELEVATION (C)
 SCALE: 3/8" = 1'-0" ACCESSIBLE

NOTE:
 EXPOSED PIPES AND SURFACES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS (606.6).

TOILET ACCESSORIES SCHEDULE

MARK	ITEM	MANUFACTURER	MODEL #	REMARKS
T1	MIRROR	ASI	0620	18" x 30"
T2	TISSUE DISPENSER	ASI	0263-1A	----
T3	GRAB BAR	ASI	3201	HORIZONTAL
T4	GRAB BAR	ASI	3201	HORIZONTAL
T5	GRAB BAR	ASI	----	VERTICAL

NOTES:
 1. ALL TOILET ACCESSORIES ARE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR.
 2. WHERE NOT SHOWN, MOUNT ALL TOILET ACCESSORIES AT THE MANUFACTURER'S RECOMMENDED MOUNTING HEIGHTS AND IN COMPLIANCE WITH ALL LOCAL AND NATIONAL ACCESSIBILITY REQUIREMENTS.
 3. PROVIDE BLOCKING IN WALLS FOR MOUNTING OF ALL TOILET ACCESSORIES AS RECOMMENDED BY THE MANUFACTURER.

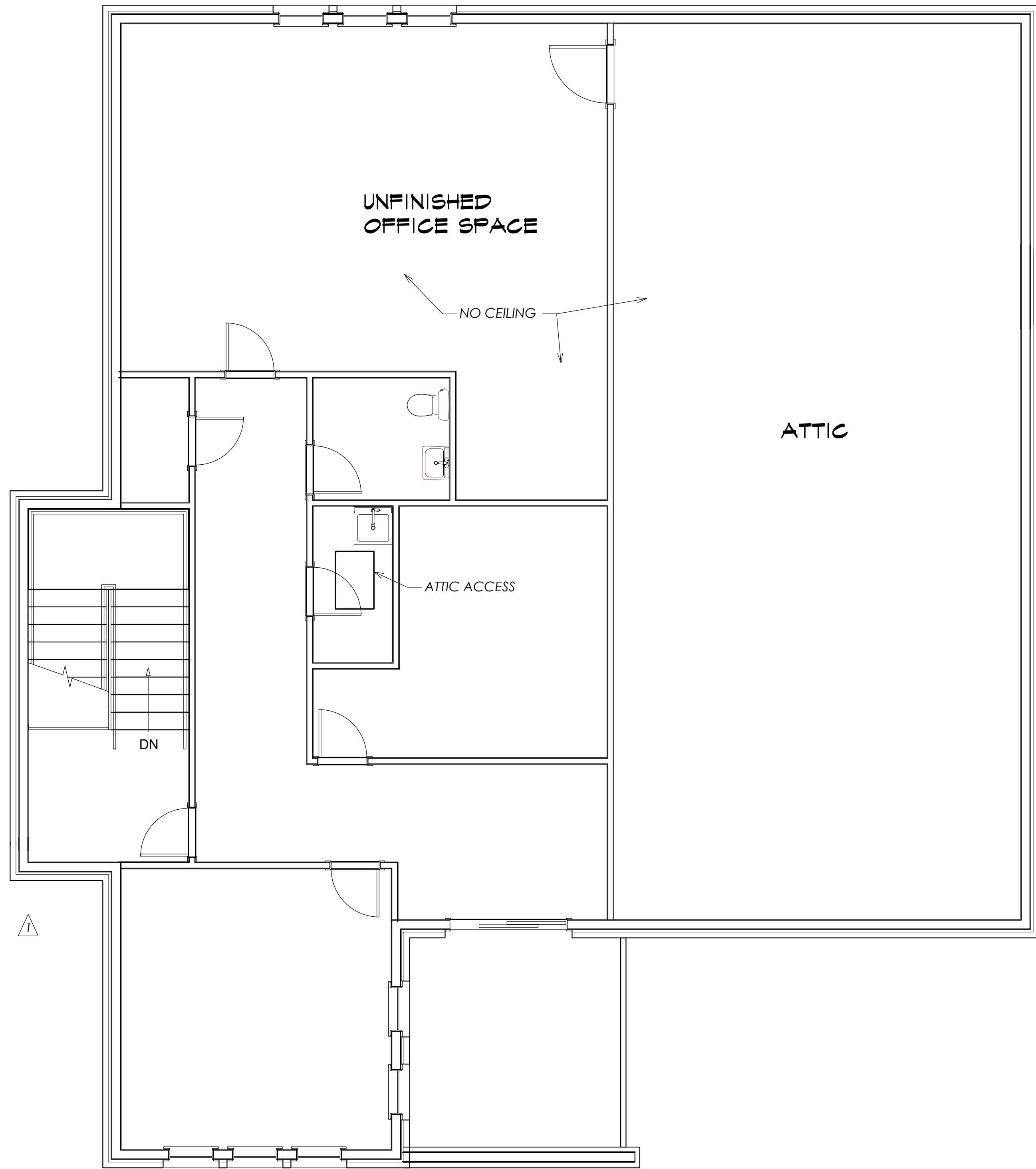
NO.	DATE	REVISION
1	02 FEB 21	USE PERMIT
2	04 MAR 21	USE PERMIT RE-SUBMITAL

FILE NAME: 19B7 A-1
 DATE: 14 OCT 20
 DRAWN BY: DRSY
 CHECKED BY: CMH



JOB NO.: 19B7

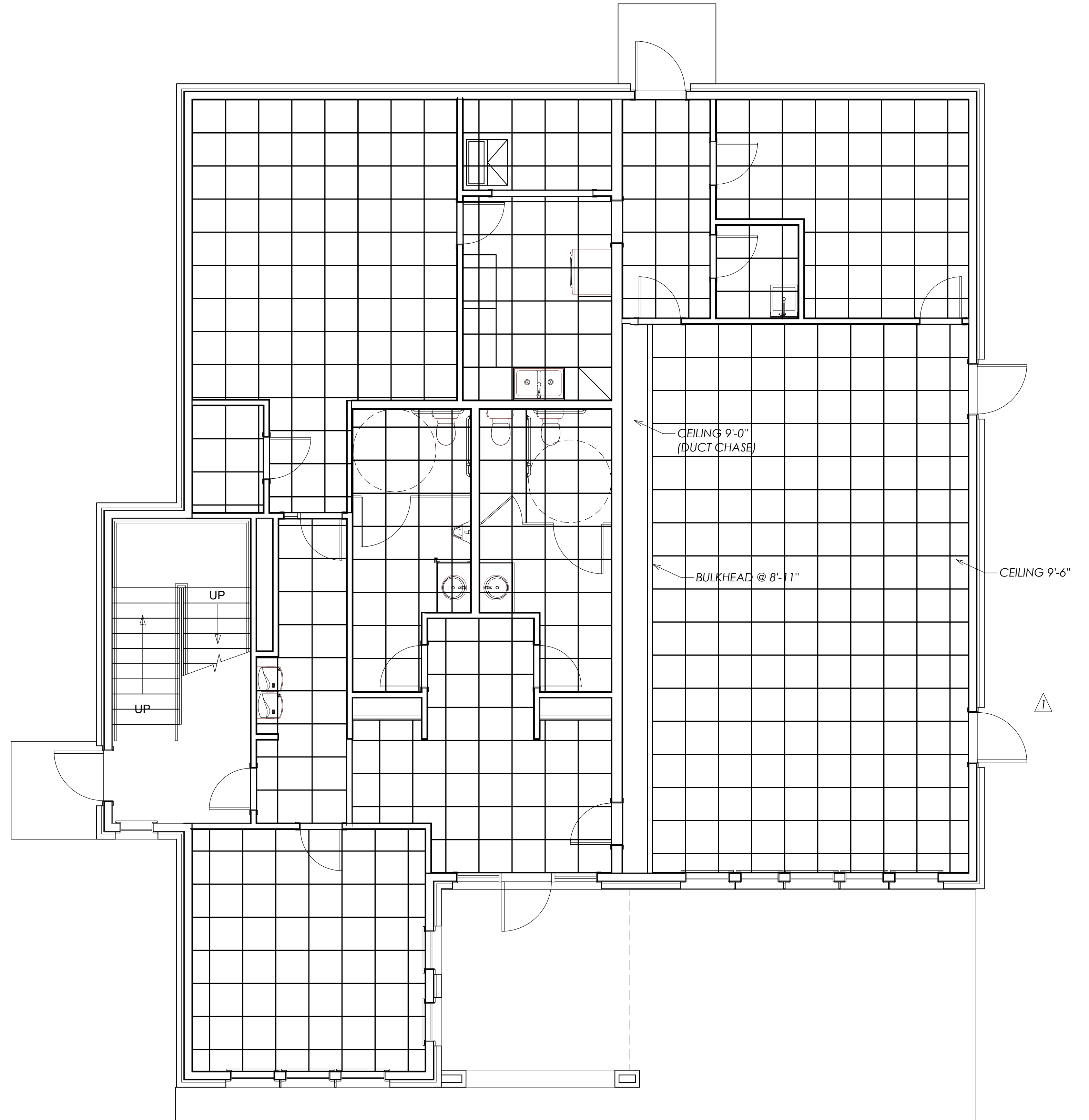
A-4



SECOND FLOOR CEILING PLAN

SCALE: 1/4" = 1'-0"

CEILING IS PAINTED GWB
UNLESS NOTED "NO CEILING"



FIRST FLOOR CEILING PLAN

SCALE: 1/4" = 1'-0"

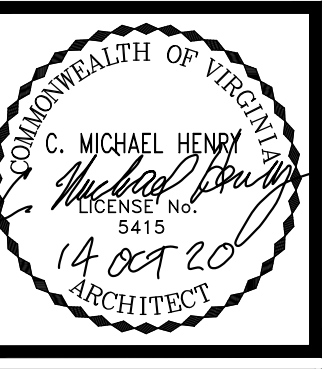
LEGEND

□ 2 X 2 CEILING GRID

PROJECT NAME
**PROPOSED BUILDING FOR
 AMERICAN LEGION POST 48
 115 & 117 SOUTH MALLORY STREET
 HAMPTON, VA**
 DWG TITLE
CEILING PLANS

NO.	DATE	REVISION	BY
1	02 FEB 21	USE PERMIT	DRS
2	04 MAR 21	USE PERMIT RE-SUBMITAL	DRS

FILE NAME: 1987 A-1
 DATE: 14 OCT 20
 DRAWN BY: DRS/
 CHECKED BY: CMH



JOB NO.: 1987

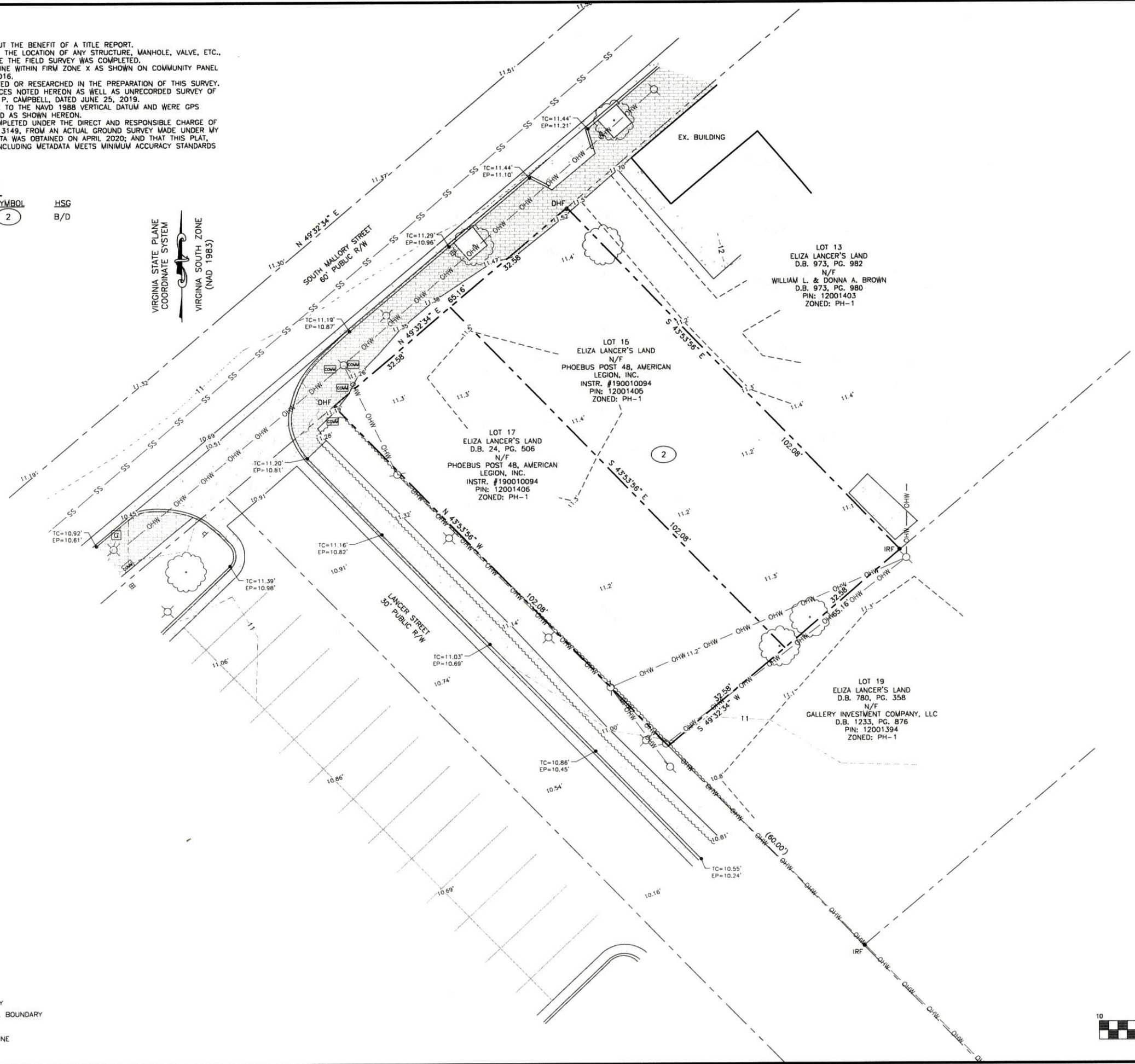
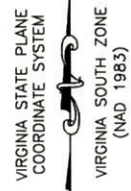
A-5

GENERAL SURVEY NOTES:

1. THIS SURVEY WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. THIS FIRM IS NOT RESPONSIBLE FOR THE LOCATION OF ANY STRUCTURE, MANHOLE, VALVE, ETC., HIDDEN OR OBSTRUCTED AT THE TIME THE FIELD SURVEY WAS COMPLETED.
3. THIS SURVEYED AREA APPEARS TO LINE WITHIN FIRM ZONE X AS SHOWN ON COMMUNITY PANEL 6156270026H EFFECTIVE MAY 16, 2016.
4. WETLANDS, IF ANY, WERE NOT LOCATED OR RESEARCHED IN THE PREPARATION OF THIS SURVEY.
5. PARCEL LINES SHOWN PER REFERENCES NOTED HEREON AS WELL AS UNRECORDED SURVEY OF THE PROPERTY PREPARED BY DAVID P. CAMPBELL, DATED JUNE 25, 2019.
6. ELEVATIONS AS SHOWN ARE RELATIVE TO THE NAVD 1988 VERTICAL DATUM AND WERE GPS DERIVED; SITE BENCHMARKS PROVIDED AS SHOWN HEREON.
7. THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WILLIAM S. FELTS, LICENSE NUMBER 3149, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON APRIL 2020; AND THAT THIS PLAN, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

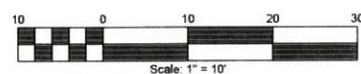
SOILS INVENTORY

NAME	SYMBOL	HSG
AUGUSTA-URBAN LAND COMPLEX 0-2% SLOPES	(2)	B/D



LEGEND

- SIGN
- GAS VALVE
- COMMUNICATIONS BOX
- WATER METER
- UTILITY POLE
- LIGHT POLE
- IRF = IRON ROD FOUND
- DHF = DRILL HOLE FOUND
- EXISTING GRAVEL
- EXISTING CONCRETE
- EXISTING BRICK
- TREE
- PARCEL BOUNDARY
- ADJACENT PARCEL BOUNDARY
- OHW — OHW — OVERHEAD WIRE
- SS — SS — GRAVITY SEWER LINE



NO.	DATE	REVISION/COMMENT/NOTE



SITE PLAN
AMERICAN LEGION POST 48
SOUTH MALLORY STREET
 VIRGINIA
 CITY OF HAMPTON

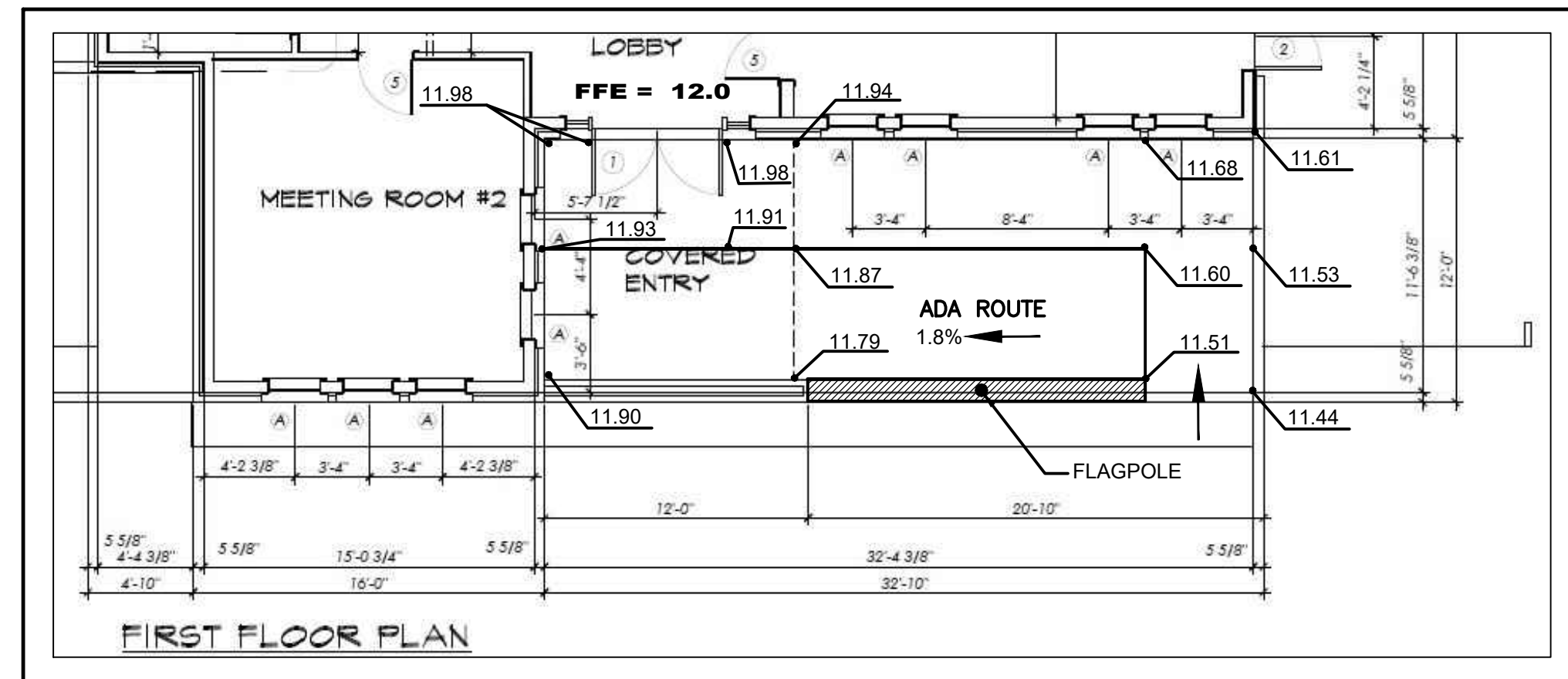
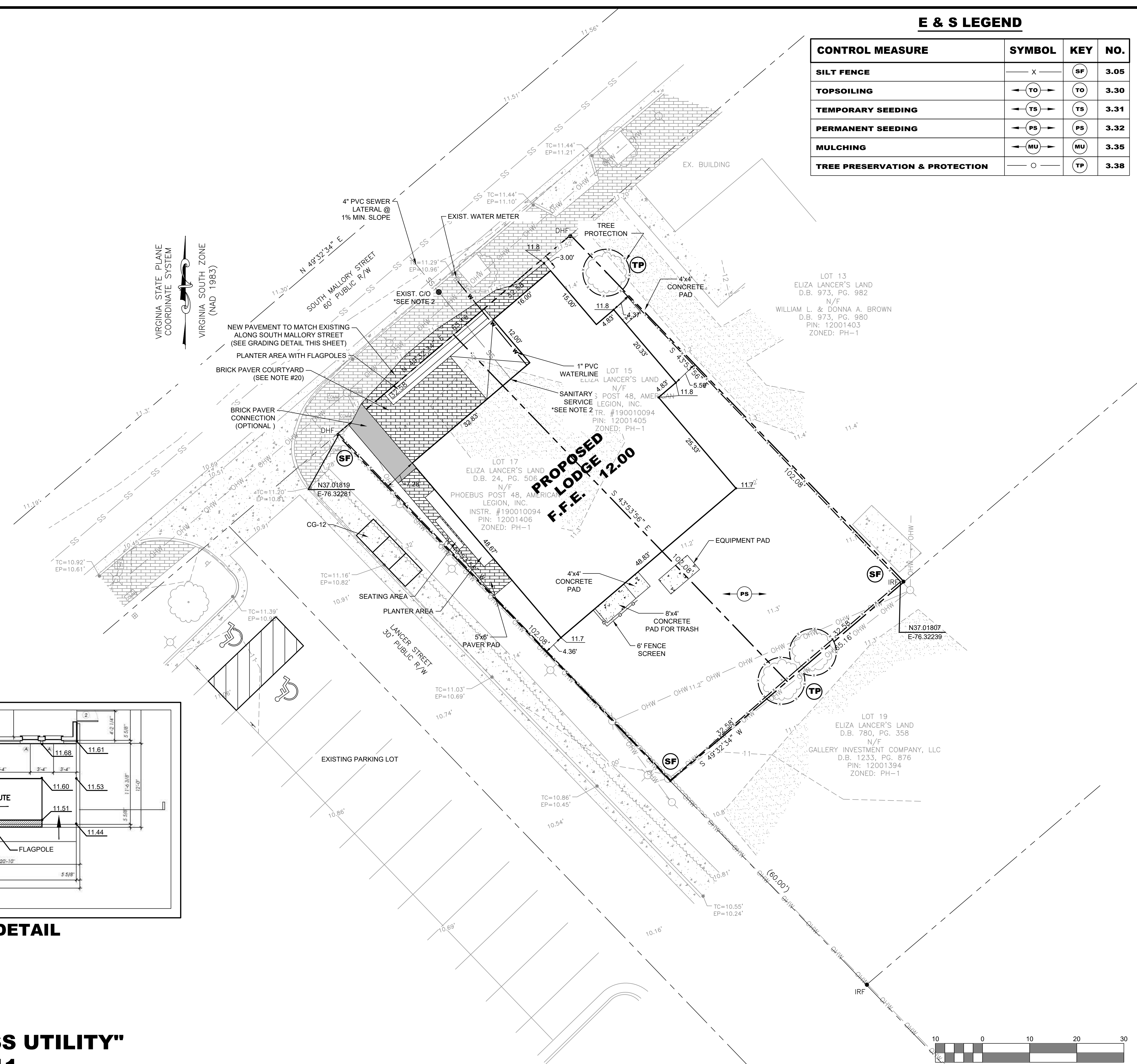
Scale: 1" = 10'
Date: 02/01/2021
Job Number: 20-088
Drawn By: WSF
Sheet Title: EXISTING CONDITIONS
Sheet Number: VF101

NOTES

1. THE ADA ACCESSIBLE ROUTE FROM THE HANDICAP PARKING TO THE DOOR ARE TO BE CONSTRUCTED/VERIFIED AS CURRENT ADA STANDARDS. WALKWAY: MAX RUNNING SLOPE 1:20 AND MAX CROSS SLOPE 1:48. RAMP: MAX RUNNING SLOPE 1:12 AND MAX CROSS SLOPE 1:48.
2. SANITARY CLEANOUT NOT LOCATED AT TIME OF SURVEY. CONNECTION AREA TO BE VERIFIED BY CONTRACTOR.
3. IF BUILDING PLANS CHANGE SUCH THAT THE LOCATIONS OF PUBLIC ENTRANCES ARE MODIFIED, A SITE PLAN AMENDMENT MAY BE REQUIRED BEFORE THE CODES COMPLIANCE DIVISION WILL ISSUE PERMITS.
4. ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING THE REQUIREMENTS OF ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. A VDOT LAND USE PERMIT WILL BE REQUIRED FOR ANY WORK WITHIN A VDOT RIGHT OF WAY.
5. A BUILDING PERMIT IS REQUIRED FOR THIS SITE PLAN.
6. CONSTRUCTION ON THIS SITE SHALL ADHERE TO THE MOST CURRENT VERSION OF THE HRPDC REGIONAL CONSTRUCTION STANDARDS AND SPECIFICATION AS WELL AS ALL CITY/COUNTY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
7. ANY EXISTING UNUSED WELLS SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND CITY CODE.
8. PRIVATELY OWNED UTILITIES (EG WATER & SEWER LINES) SHOWN ON THIS PLAN ARE REGULATED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND ENFORCED BY THE CODE AND COMPLIANCE DEPARTMENT. THESE PRIVATELY OWNED UTILITIES MUST COMPLY FULLY WITH THE INTERNATIONAL PLUMBING CODE, THE NATIONAL FIRE PREVENTION ASSOCIATION STANDARD 24 AND THE INTERNATIONAL FIRE CODE. CONTRACTORS WORKING FROM THIS SITE PLAN ARE CAUTIONED NOT TO INSTALL OR CONCEAL PRIVATELY OWNED SITE UTILITIES WITHOUT OBTAINING REQUIRED PERMITS AND INSPECTIONS.
9. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF HAMPTON PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS AND CHAPTER 9 OF THE CITY CODE; CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS OR ABANDONMENTS DIRECTLY WITH THE UTILITY AGENCIES.
10. ANY EXTERIOR MOUNTED SIGNS SHALL COMPLY WITH CURRENT CITY CODE.
11. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
12. SEE ARCHITECTURAL AND STRUCTURAL FOUNDATION DRAWINGS FOR FINAL AND EXACT BUILDING DIMENSIONS.
13. DEWATERING OF SITE, IF NECESSARY, SHALL BE A PART OF THIS PROJECT. ANY PUMPED WATER SHALL BE DIRECTED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT BAG AND DIRECTED AWAY FROM DISTURBED SOILS ON SITE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTING ALL UTILITIES WHETHER OR NOT SHOWN ON THE PLAN, AND SHALL REPAIR AT HIS OWN EXPENSE ALL UTILITIES DAMAGED BY CONSTRUCTION. FOLLOW MISS UTILITY OR VIRGINIA POLICIES PRIOR TO DIGGING.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO THE COMMENCEMENT OF WORK ON SITE.
16. ALL PERMANENT SLOPES STEEPER THAN 3H:1V REQUIRE THE USE OF EROSION CONTROL BLANKETS PER VESCH STANDARDS.
17. THE SUBJECT PROPERTY DOES NOT LIE WITHIN AN RPA OR RMA ZONE.
18. ADEQUATE WATER SUPPLY FOR FIRE SUPPRESSION MUST BE AVAILABLE ON SITE WHERE AND WHEN COMBUSTIBLE SUBSTANCES ARE PRESENT.
19. ANY EXISTING SIDEWALK BRICK PAVERS WHICH ARE REMOVED DURING DEMOLITION SHALL BE STORED AND REUSED WITH THE PUBLIC RIGHT-OF-WAY BRICK PAVEMENT RESTORATION.
- 20.

E & S LEGEND

CONTROL MEASURE	SYMBOL	KEY	NO.
SILT FENCE	X	SF	3.05
TOPSOILING	TO	TO	3.30
TEMPORARY SEEDING	TS	TS	3.31
PERMANENT SEEDING	PS	PS	3.32
MULCHING	MU	MU	3.35
TREE PRESERVATION & PROTECTION	O	TP	3.38



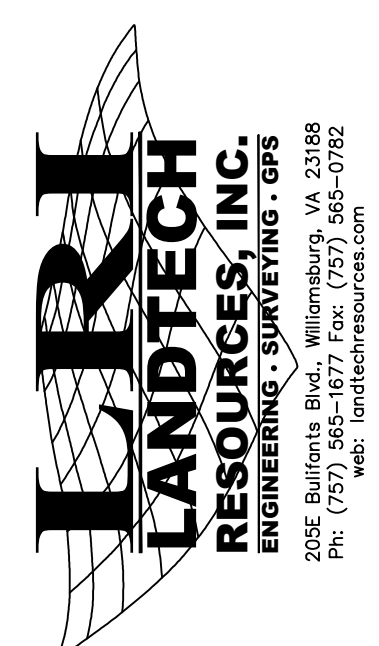
ENTRANCE GRADING DETAIL
N.T.S.

BEFORE DIGGING CALL "MISS UTILITY" OF VIRGINIA AT 811

REVISION / COMMENT / NOTE

DATE

NO.



SITE PLAN
AMERICAN LEGION POST 48
SOUTH MALLORY STREET
CITY OF HAMPTON
VIRGINIA

Scale: 1" = 10'
Date: 02/01/2021
Job Number: 20-088
Drawn By: WSF
Sheet Title:

LAYOUT PLAN
Sheet Number:
CS101

GENERAL NOTES:

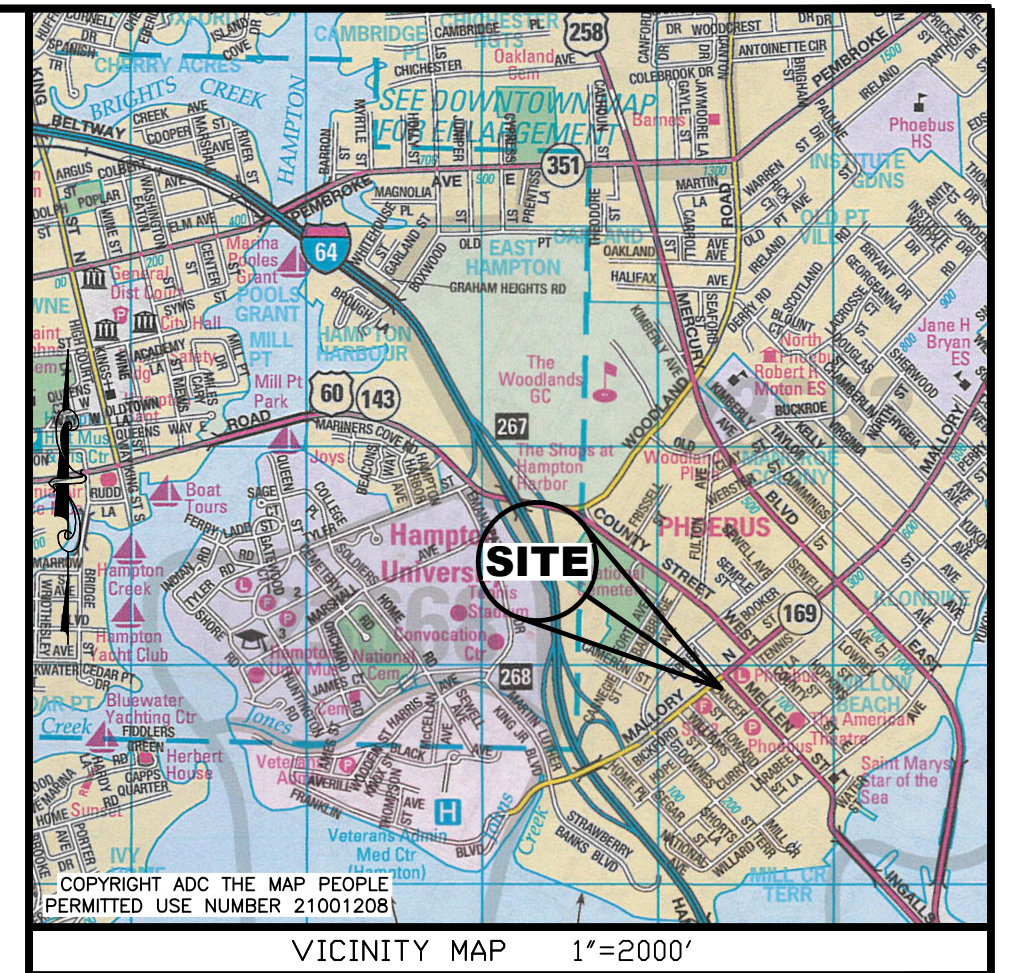
1. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN D.B. 24, PG. 506.
2. THIS FIRM IS NOT RESPONSIBLE FOR THE LOCATION OF ANY STRUCTURE, MANHOLE, VALVE, ETC., HIDDEN OR OBSTRUCTED AT THE TIME THE FIELD SURVEY WAS PERFORMED.
3. LOT LIES IN F.I.R.M. ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP #5155270026H DATED MAY 16, 2016.
4. WETLANDS, IF ANY, WERE NOT LOCATED FOR THIS SURVEY.
5. UNDERGROUND UTILITIES WERE NOT LOCATED.
6. THERE ARE NO BUILDINGS ON EITHER LOT.
7. THE LAND BOUNDARY SURVEY SHOWN HEREON IS BASED UPON A CURRENT FIELD SURVEY PERFORMED 03/28/2020.
8. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE CHESAPEAKE BAY PRESERVATION DISTRICT.
9. PROPERTY MAY BE SUBJECT TO RIGHTS OF WAY, EASEMENTS, COVENANTS AND ALL MATTERS OF PUBLIC RECORD.

SOILS:
 AUGUSTA-URBAN LAND COMPLEX
 (PER CITY OF HAMPTON MAPPING)

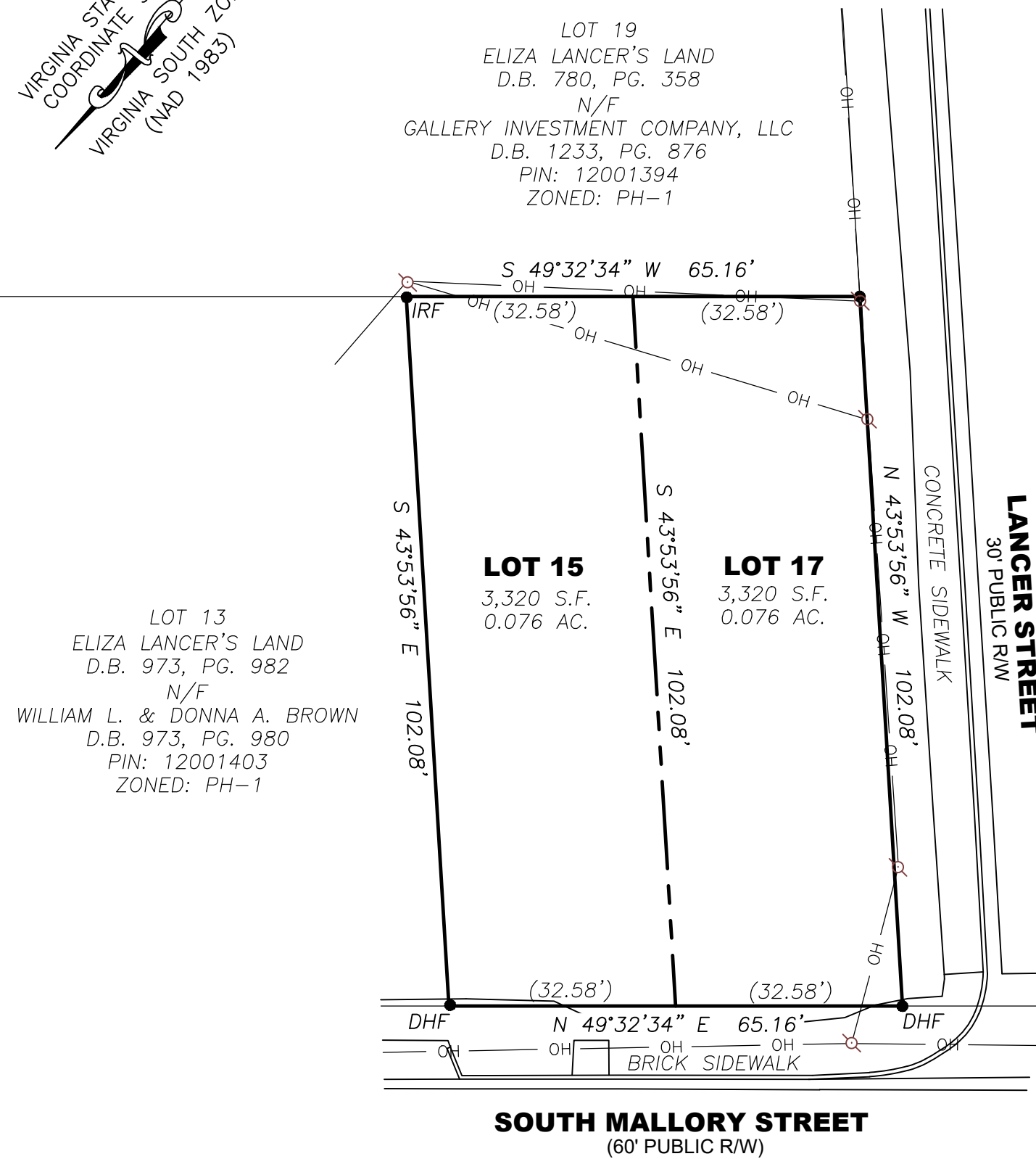
PROPERTY INFORMATION
 LOT 15 & LOT 17
 ELIZA LANCER'S LAND
 OWNER: PHOEBUS POST 48, AMERICAN LEGION, INC.
 INSTR. #190010094
 PIN: 12001405 & PIN: 12001406
 ZONED: PH-1

AREA TABULATION
 TOTAL AREA = 6,640 S.F. / 0.152 AC.

LOT 15	3,320 S.F. / 0.076 AC.
LOT 17	3,320 S.F. / 0.076 AC.



VIRGINIA STATE PLANE
 COORDINATE SYSTEM
 VIRGINIA SOUTH ZONE
 (NAD 1983)



ENGINEERS OR SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND ABILITY, I HAVE COMPLIED WITH THE REQUIREMENTS AS SET FORTH IN THE ORDINANCE FOR APPROVING PLATS IN THE CITY OF HAMPTON, VIRGINIA.

12/01/2020
 DATE MATTHEW H. CONNOLLY, L.S. LIC. NO. 2053

STATE OF VIRGINIA
 CITY OF HAMPTON, TO WIT:
 IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF HAMPTON, VIRGINIA _____ A.D. 20 ____ AT _____ M. THE FOREGOING INSTRUMENT WAS THIS DAY PRESENTED IN THE OFFICE AND UPON CERTIFICATE THERETO ANNEXED, ADMITTED TO RECORD AS THE THE LAW DIRECTS IN MISCELLANEOUS PLAT BOOK _____, PG. _____.

TESTE: LINDA BATCHELOR SMITH, CLERK

BY: _____ DEP. CLERK



REFERENCES:
 INST. #190010094
 D.B. 24, PG. 506 (PLAT)

LEGEND
 IRF = IRON ROD FOUND
 DHF = DRILL HOLE FOUND
 ○ = UTILITY POLE
 -OH- = OVERHEAD UTILITY

PLAT OF
 LOT 15 & LOT 17
 DIAGRAM OF 4 ACRES
 MRS. LANCER'S LAND

LOCATED IN THE
 CITY OF HAMPTON, VIRGINIA
 DATE: 12/01/2020 SCALE: 1"=20' JOB #20-088

SHEET 1 OF 1

LandTech Resources, Inc.
 Engineering & Surveying Consultants

205 Bulifants Blvd., Suite E, Williamsburg, Virginia 23188

Telephone: 757-565-1677 Fax: 757-565-0782

Web: landtechresources.com

