



Application for
Use Permit

OFFICE USE ONLY
Date Received:
December 14, 2023
Case Number: **UP23 - 00102**

Complete this application in its entirety and submit pages 4 and 5 along with the required materials (including any required supplements) as listed on page 2 to the address below:

City of Hampton
Community Development Department, Planning Division
22 Lincoln Street, 5th Floor
Hampton, Virginia 23669

1. PROPERTY INFORMATION

Address or Location 1990-1996 Power Plant Parkway
LRSN 13001056 (Portion) Zoning District C-2 - Limited Commercial
O-CC - Coliseum Central Overlay
Current Land Use Restaurant and bar operations, satellite wagering facility with simulcast horse racing for the purpose of pari-mutuel wagering including historical horse racing, retail, commercial recreation (indoor and outdoor), entertainment, and any similar or associated use
Proposed Land Use Restaurant and bar operations, satellite wagering facility with simulcast horse racing for the purpose of pari-mutuel wagering including historical horse racing, retail, commercial recreation (indoor and outdoor), entertainment, and any similar or associated use
The proposed use will be in: an existing building a new addition a new building

2. PROPERTY OWNER INFORMATION (an individual or a legal entity may be listed as owner)

Owner's Name Economic Development Authority
Address 1 Franklin Street, Suite 600 City Hampton State VA Zip 23669
Phone 757-728-5168 Email steven.lynch@hampton.gov

3. APPLICANT INFORMATION (if different from owner)

Applicant's Name Colonial Downs Group, LLC
Address 800 Canal St. Suite 1901 City Richmond State VA Zip 23219
Phone 804-557-5603 Email jack.sours@kyderby.com

4. APPLICANT AGENT INFORMATION (if different from applicant)

Agent's Name Vincent Jordan
Address 1996 Powerplant Pkwy City Hampton State VA Zip 23666
Phone 804-661-6852 Email vincent.jordan@colonialdown.com

5. CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the property owner is **not** an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. as specified in Step 2 above.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity Economic Development Authority of the City of Hampton, Virginia*

Signed by:

Name (printed) James A. Peterson, Its (title) Chair

Signature  Date 1-16-2021
*See Signature Disclaimer

Name (printed) _____, Its (title) _____

Signature _____ Date _____

Name (printed) _____, Its (title) _____

Signature _____ Date _____

6. CERTIFICATION FOR INDIVIDUAL PROPERTY OWNERS

Complete this section only if the property owner is an individual or individuals.

"I hereby submit that I am the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) _____

Signature _____ Date _____

Name (printed) _____

Signature _____ Date _____

OFFICE USE ONLY

Application Form

Narrative Statement

Supplemental Form (if required)

Application Fee

Survey Plat

Additional materials (if required)

SIGNATURE DISCLAIMER

Sections 14-3 and 14-21 of the City zoning ordinance require the written consent of the subject property owner for all use permit and rezoning applications. The Economic Development Authority of the City of Hampton, Virginia (EDA) is the current owner of the subject property. Accordingly, the EDA Chair's signature represents the EDA's consent to process the application, but does not constitute and should not be deemed to be an agreement by the EDA to dispose of its property nor is it an endorsement of any development proposal.

Narrative Statement

Rosie's Hampton, within the last year has experienced local competition with the opening of Rivers Casino Portsmouth, VA. Rivers operates 24 hours a day, seven days a week. It is also understood that Headwaters Casino in Norfolk will also have 24/7 operating hours. This local action represents a significant competitive disadvantage for Rosie's Hampton.

Rosie's Hampton seeks to remain competitive and would like to amend the conditions of the existing Use Permit at the existing facility to allow for 24/7 operation. The current Use Permit allows us to operate from 8am-4am. This change would increase hours of operation by four hours. Our Richmond and Dumfries locations are initiating paperwork to expand hours of operation to 24/7.

The 40,000 square foot, single-story facility includes a restaurant and satellite wagering facility with simulcast horse racing for the purpose of pari-mutuel wagering including historical horse racing (the "Hampton OTB Facility"). Colonial Downs Group LLC works diligently to ensure that the Hampton OTB Facility is efficient, safe, and enjoyable for every guest. The layout of the building is designed in a manner that ensures a secured operation with controlled ingress and egress of both guest and employee entrances and three-armed security officers.

The Hampton OTB Facility will be open 24/7, but alcohol will only be sold during hours compliant with applicable Virginia Alcoholic Beverage Control Act laws and regulations. The Hampton OTB Facility includes a three-meal restaurant serving American Bistro style menu items. There is live music at the facility. The Hampton OTB Facility has an estimated 1,200,000 annual visitors.

Furthermore, approximately 119 full and part-time individuals are employed at the Hampton OTB Facility.

The Hampton OTB Facility features ample parking comprised of a large surface parking lot located in front of the Hampton OTB Facility, along with several hundred parking spaces in the common parking lot located adjacent to the Hampton OTB Facility. The parking spaces within these parking lots are available for use by the Hampton OTB Facility and provide the patrons with ample parking. The parking lots are well-lit to always ensure a safe and pleasurable environment.

The site offers superior public access with Power Plant Parkway (a four-lane road), providing access to and from the Hampton OTB Facility. The Power Plant at Hampton Roads consists of various businesses, including three big box retail businesses (Bass Pro Shops, BJ's Wholesale Club, and Lowes). The Hampton OTB Facility's impact on vehicular traffic and parking is minimal, as there is sufficient roadway access and parking within the Power Plant at Hampton Roads center to handle our demand.

The Hampton OTB facility is tied to the reopening of Colonial Downs in New Kent County, Virginia, in a statewide effort to return horse racing to the Commonwealth of Virginia, with the Hampton OTB facility being a priority location.

Colonial Downs Group LLC, as the operating tenant, worked closely with the landlord, Hampton Roads Associates, LLC (The Cordish Companies), in connection with the renovation, development, and expansion of the Hampton OTB facility. The expansion included the addition of an approximately 24,000 square foot, single-story building. The full facility is now approximately 40,000 square feet in a single

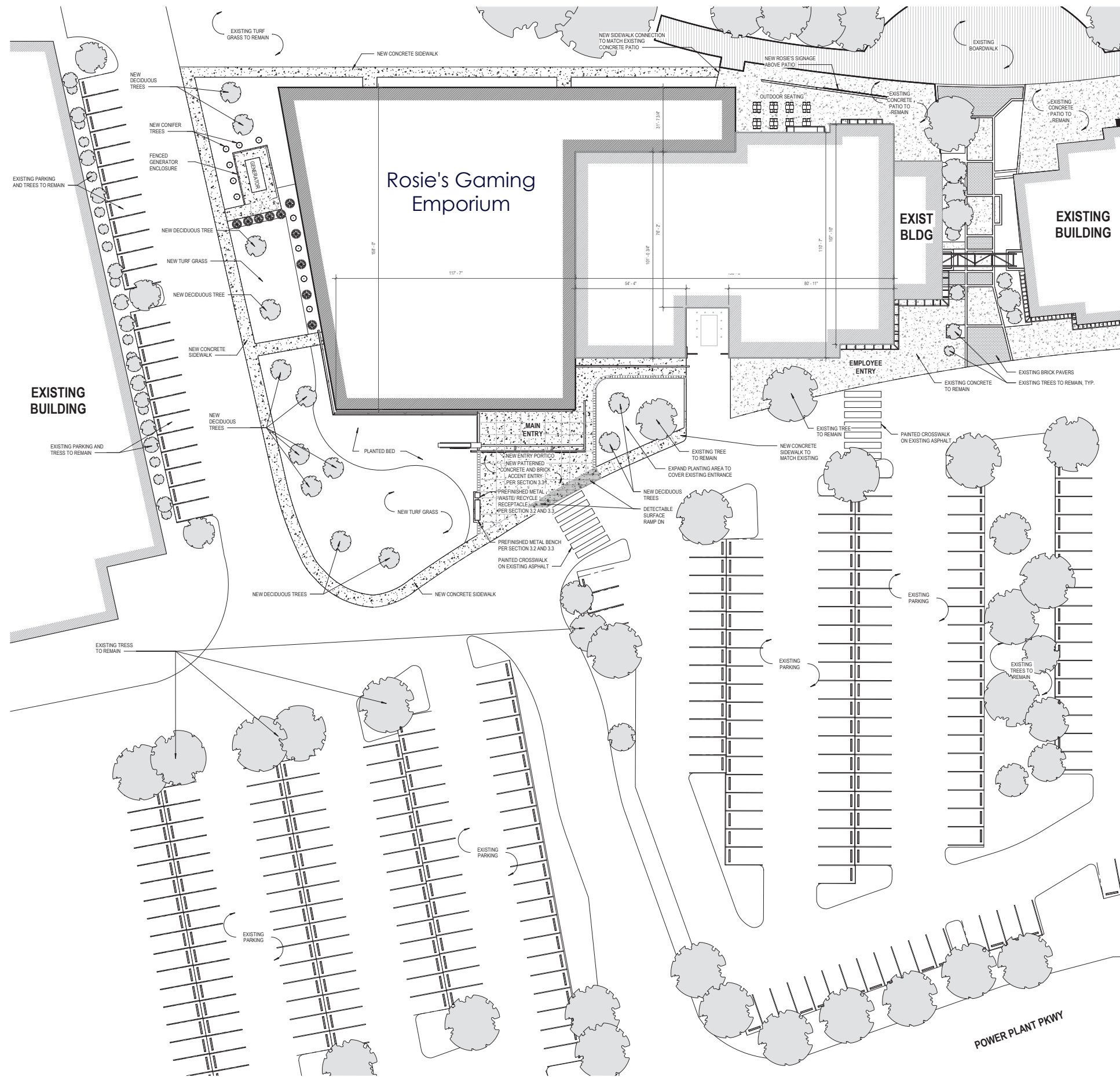


HAMPTON OTB
SITE PLAN

① HAMPTON PARCEL BOUNDARY
1" = 30'-0"

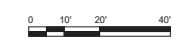


TRUE NORTH

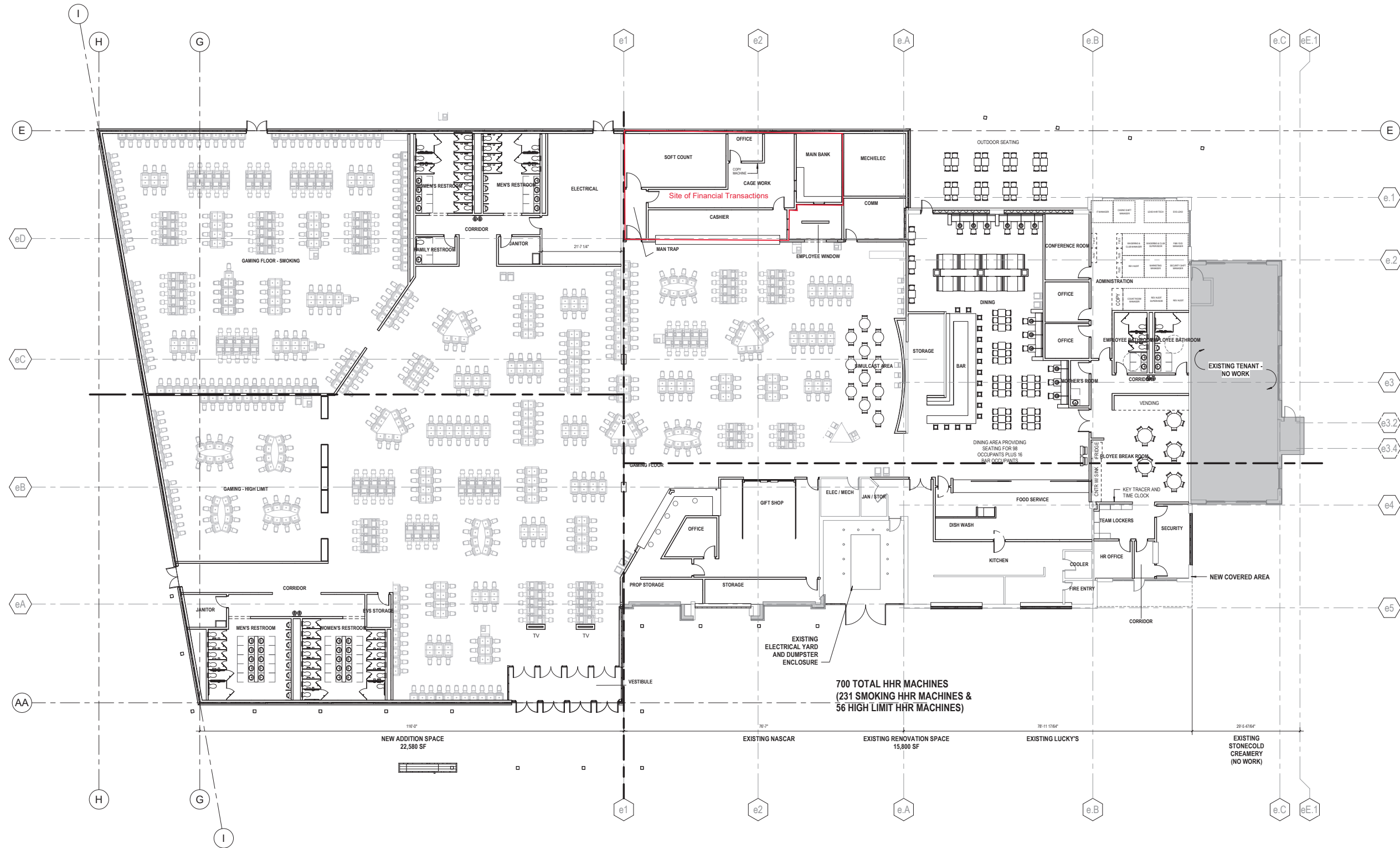


SITE MATERIAL VARIATION, SITE FURNISHINGS,
AND FINISH PATTERNS INDICATED IN COMPLIANCE
WITH ARTICLE 3 SITE DESIGN OF COLISEUM
CENTRAL DESIGN STANDARDS

1 ARCHITECTURAL SITE PLAN
1" = 20'-0"



HAMPTON OTB
ARCHITECTURAL SITE PLAN



1 OVERALL FLOOR PLAN
3/32" = 1'-0"



HAMPTON OTB OVERALL FLOOR PLAN

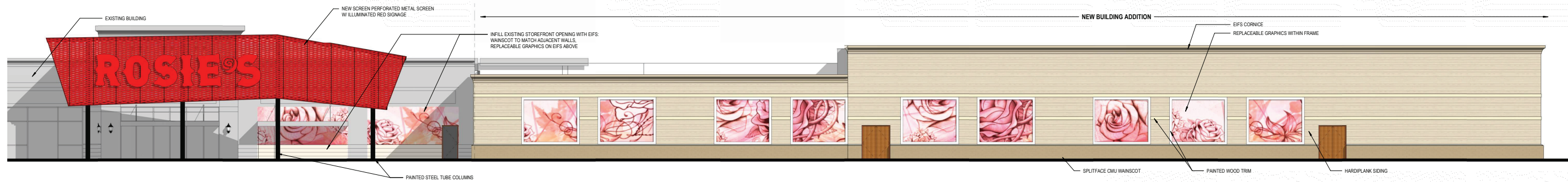
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OCTOBER 8, 2018

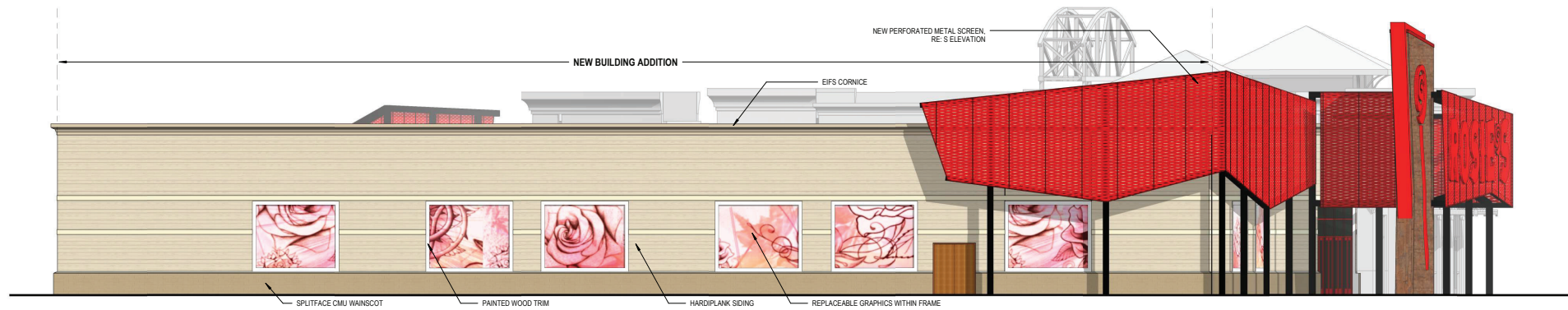
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1 S ELEVATION
1/8" = 1'-0"



2 N ELEVATION
1/8" = 1'-0"



3 W ELEVATION
1/8" = 1'-0"



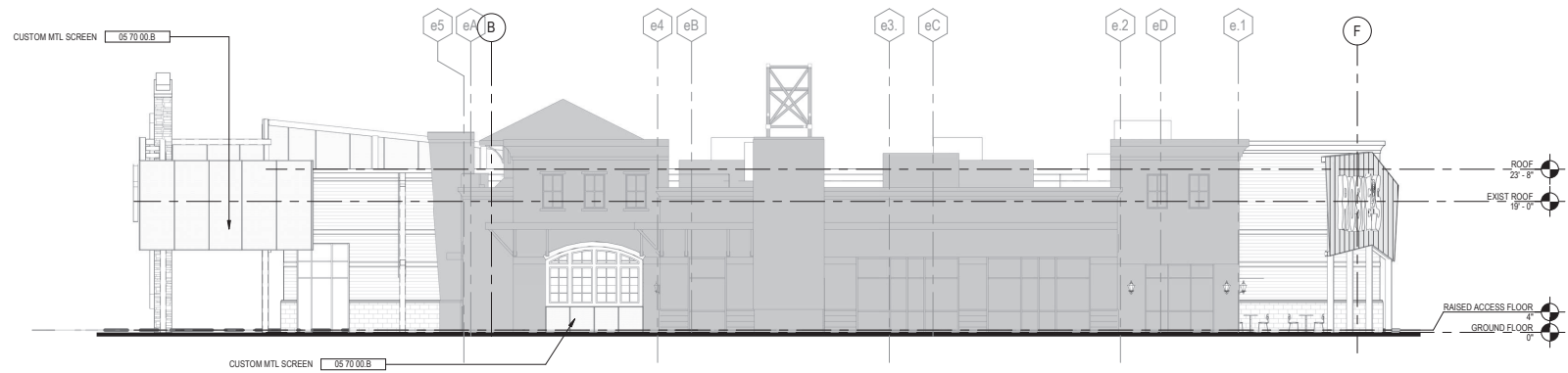
4 E ELEVATION
1/8" = 1'-0"

HAMPTON OTB
ELEVATIONS - OVERALL

POPULOUS

OCTOBER 8, 2018

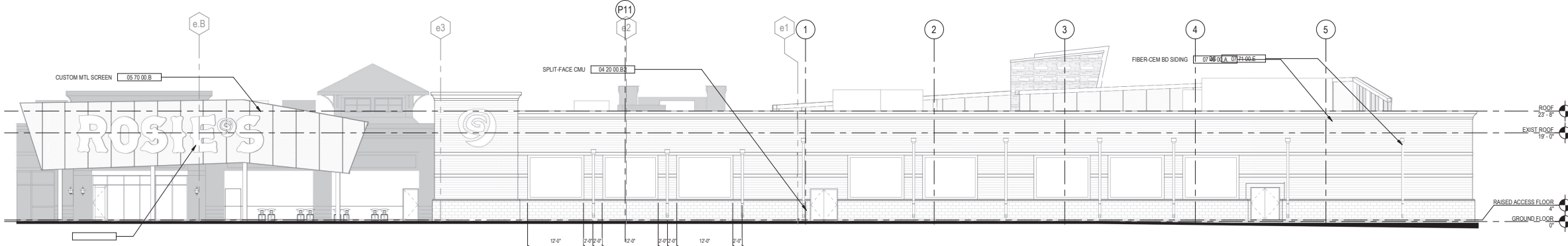




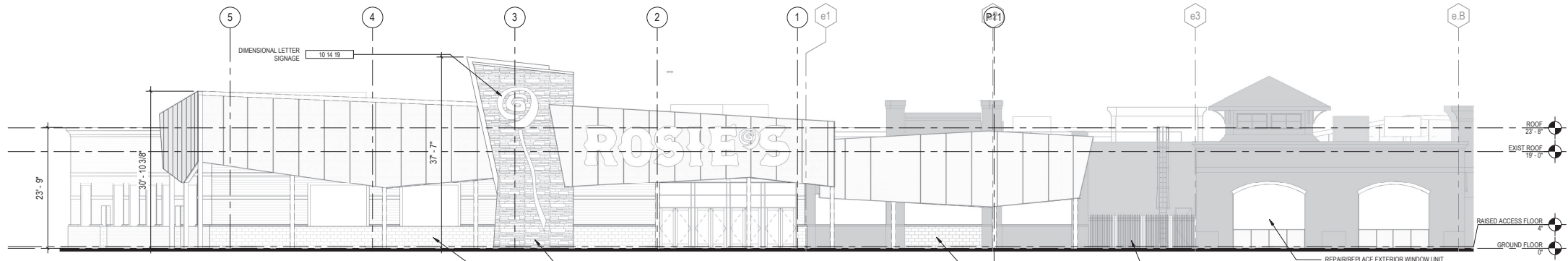
4 EAST ELEVATION
1" = 10'-0"



3 WEST ELEVATION
1" = 10'-0"



2 NORTH ELEVATION
1" = 10'-0"



1 SOUTH ELEVATION
1" = 10'-0"

- CONSTRUCTION TYPES LEGEND**
- FLOORS**
FLOOR FINISHES ARE INDICATED ON THE FINISH SCHEDULE. REFER TO "AM" SERIES SHEETS FOR BELOW-GRADE WATERPROOFING AND SUBROOF LOCATIONS. ALL SUBROOF SYSTEMS TO RECEIVE R-30 BATT INSULATION w/ STICK-PINS AT UNDERSIDE.
- CONCRETE SLAB FINISH NOTES:**
UNPROTECTED CONCOURSES: SMOOTH
PROTECTED CONCOURSES: LIGHT BROOM
PRECAST SEATING RISERS: SMOOTH
OVER BUILT BOWL: SLABS: SMOOTH
INTERIOR EXPOSED STEEL: TROWEL
INTERIOR TO RECEIVE FINISH: TBD PER FINISH REQUIREMENT
- F1 CONCRETE SLAB ON-GRADE
1" SAND BED
VAPOR BARRIER
FILL (STRUCTURAL OR DRAINAGE)
F2 ELEVATED STRUCT. CONCRETE SLAB
F3 MMA FLOOR TOPPING
STRUCTURAL CONCRETE SLAB
R-30 BATT INSULATION w/ STICK-PINS
F4 STRUCTURAL PRECAST TREAD UNITS
F5 4" CONCRETE TOPPING SLAB
2" RIGID EPS INSULATION BOARD
DRAINAGE BOARD
WATERPROOF MEMBRANE
ELEVATED STRUCT. CONCRETE SLAB
- ROOFS**
R1 BIRDAIR "TENSOTHERM" FABRIC ROOF SYSTEM - RE ROOF STRUCTURE DWGS.
R2 2 1/2" "VERSA-PANEL" ROOF PANELS (LAPPED) - CONCEALED FASTENERS
PAINTED COLD FORMED PURLIN FRAMING
R3 THERMOPLASTIC MEMBRANE ROOFING GYPSUM COVER BOARD
PVC AIR BARRIER
R-15 RIGID INSULATION BOARDS
STRUCT. METAL ROOF DECK
- SOFFITS & FASCIAE**
S1 PORTLAND CEMENT PLASTER (3 COAT) LATHING
SOFFIT SUSPENSION SYSTEM
R-19 BATT INSULATION
S2 METAL SOFFIT PANELS (LAPPED) - CONCEALED FASTENERS
W/P UNDERLAYMENT
GYPSUM SHEATHING BOARD
LIGHT GAGE METAL FRAMING
R-19 BATT INSULATION
S3 METAL FASCIA PANELS (CUSTOM) - CONCEALED FASTENERS
W/P UNDERLAYMENT
GYPSUM SHEATHING BOARD
LIGHT GAGE METAL FRAMING
R-19 BATT INSULATION
- WALLS**
WALL NOTES: INTERIOR WALL FINISHES ARE INDICATED ON THE FINISH SCHEDULE. SUBSTITUTE TILE BACKER BOARD FOR GYPSUM WALLBOARD WHERE REQUIRED FOR FINISHES.
W1 2 1/2" "FORMAWALL" WALL PANELS (R-19 COMPOSITE INSULATED)
PAINTED COLD FORMED PURLIN FRAMING
(SEE WALL ALTERNATES SCHEDULE)
W2 2 1/2" "FORMAWALL" WALL PANELS (R-19 COMPOSITE INSULATED)
PAINTED LIGHT GAGE PURLIN FRAMING
COLD FORMED METAL FRAMING
5/8" GYPSUM WALLBOARD
(SEE WALL ALTERNATES SCHEDULE)
W3 PORCELAIN TILE (SEE ELEVS.)
PORTLAND CEMENT MORTAR BED
TILE BACKER BOARD
W/P MEMBRANE
COLD FORMED METAL FRAMING
R-19 BATT INSULATION
5/8" GYPSUM WALLBOARD
W4 PORTLAND CEMENT PLASTER (3 COAT) LATHING
W/P MEMBRANE
GYPSUM SHEATHING BOARD
COLD FORMED METAL FRAMING
R-19 BATT INSULATION
5/8" GYPSUM WALLBOARD
W5 EIFS TRANSLUCENT WALL PANELS
W6 STRUCTURED POLYCARBONATE PANELS
- GLAZING SYSTEMS**
G1 CURTAINWALL SYSTEM (RE. ELEVS.) (RE. SECTIONS 08413 & 08100)
G2 METAL-FRAMED SKYLIGHTS (RE. ELEVS.) (RE. SECTION 086300)
G3 HORIZONTAL SLIDING WALL SYSTEMS (STACKABLE - RE. ELEVS.) (RE. SECTION 085115)
G4 HORIZONTAL SLIDING WALL SYSTEMS (NON-STACKABLE - RE. ELEVS.) (RE. SECTION 085115)
G5 FIXED BUILT-GLAZED WINDOW SYSTEMS (RE. SECTION 08413)
G6 TICKET WINDOW UNITS (RE. SECTION 085699)
G7 CUSTOM TICKET WINDOW ASSEMBLIES (S.S. DEAL TRAY & B.R. GLAZING INFILL WITHIN CURTAINWALL)
G8 OVERHEAD STACKING GLAZED WALL (REFERENCE "M" SERIES DRAWINGS FOR ADDITIONAL INFORMATION)

POPULOUS'

POPULOUS'
Architecture, Planning, Interiors, Programming
4800 Main St., Suite 300
Kansas City, Missouri 64112

INTERIOR DESIGN
Wright Interior Designs
112 Brodke Ave
North, VA 22010
(757) 224-0489

CIVIL
Reverence International, Ltd.
P.O. Box 6180 (5660 Kings Charter Drive)
Ashland, VA 23005
(804) 550-9205

IT/SECURITY/LIFE SAFETY
GHD
171 North 20th Street, Suite A
Richmond, VA 23223
(804) 234-0300

MEP ENGINEERING
ME Engineers
1443 Denver West Parkway, Suite 300
Golden, CO 80401
(303) 421-6653

GENERAL CONTRACTOR
WM Jordan
708 Beardslee St., P.O. Box 24566
Richmond, VA 23214
(804) 233-6921

STRUCTURAL
DMM/PI
1025 Boulders Parkway, Suite 310
Richmond, VA 23223
(804) 323-0656

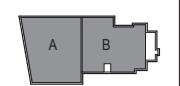
POOD SERVICE
VCCO Products Co.
228 North 18th Street
Richmond, VA 23223
(804) 643-9091

FOR REFERENCE ONLY -
NOT FOR CONSTRUCTION

HAMPTON OTB
1996 Power Plant Parkway
Hampton, VA 23666

OCTOBER 18, 2018

REVISIONS		
NO.	DATE	DESCRIPTION



PROJECT 18.4696
ISSUED BY POPULOUS
REVISION 10/20/10

BUILDING REFERENCE ELEVATIONS

DISCIPLINE: CATEGORY: SUB CATEGORY:
A5-1