

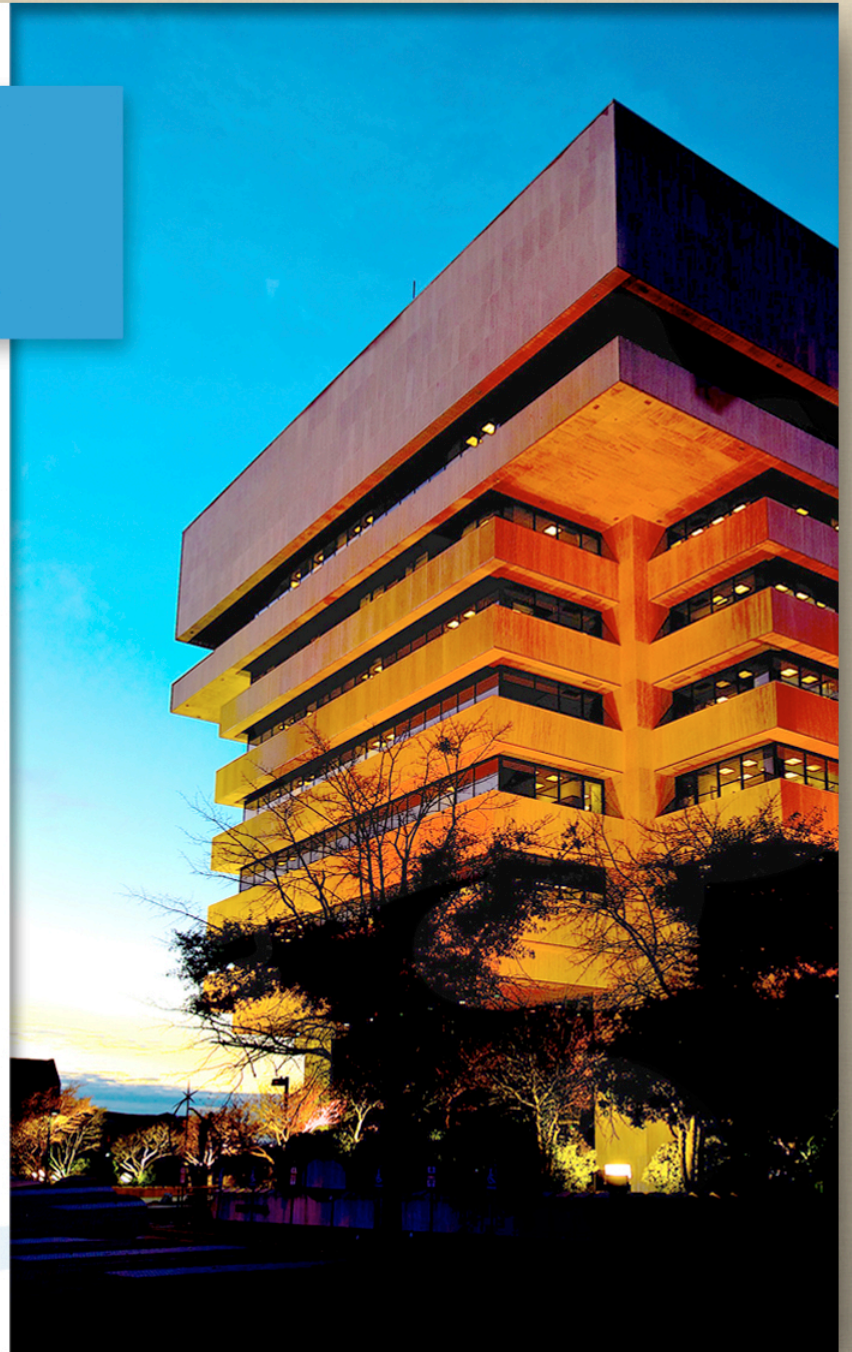
HAMPTON VA

Zoning Ordinance Amendments

#20-0196

#20-0197

**City Council
July 8, 2020**



History

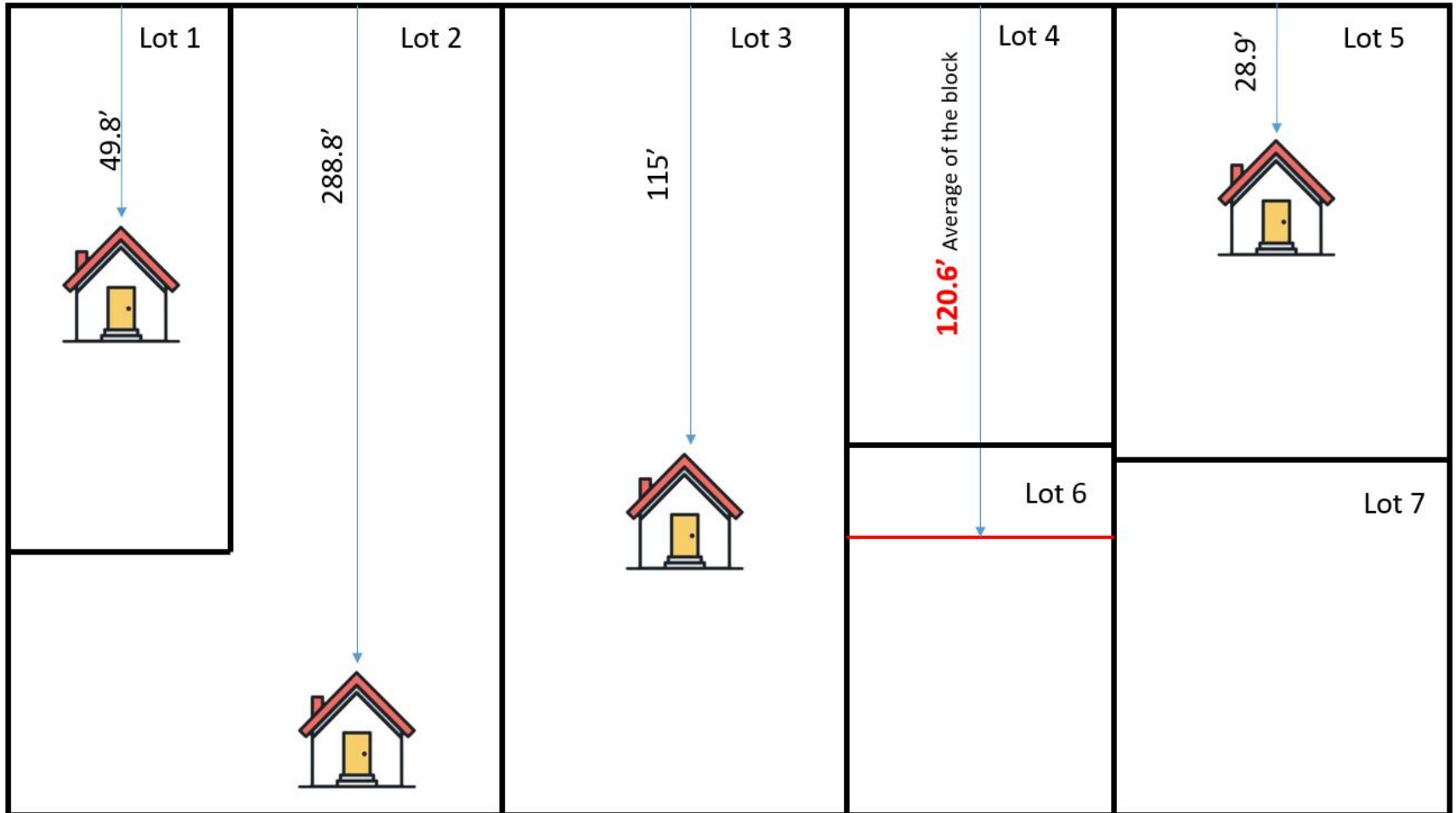
- Infill housing overlay created for substandard residential lots
- Base districts have a minimum 30' front setback

The Purpose

- Restrictive regulations
 - Front yard setback
 - No maximum setback; effects small lots
- Variances
 - BZA denial; zoning amendment needed

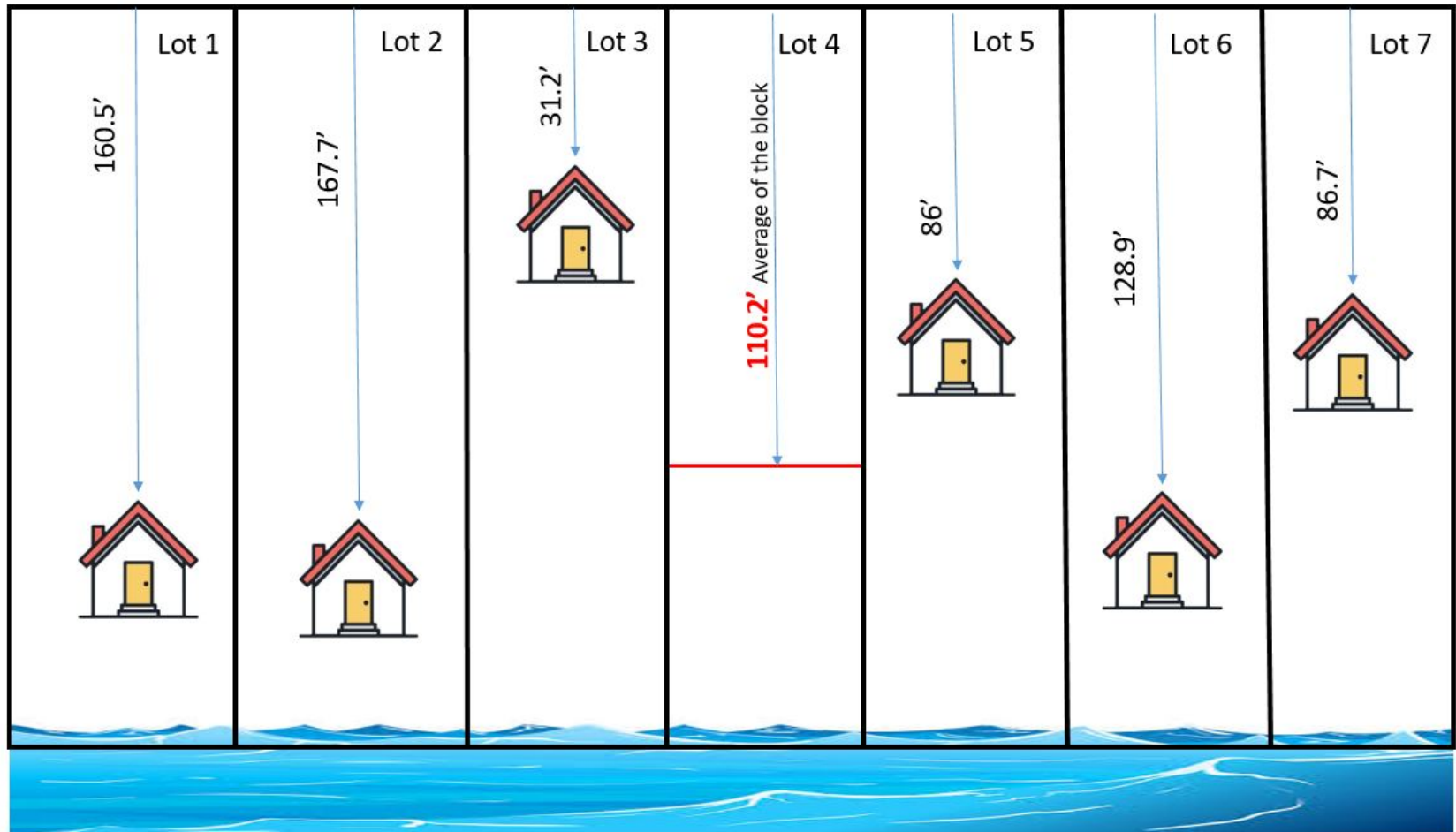
Current ordinance

Street A



Current Ordinance

B Street



#20-0196

#20-0197

**Amend Section 9-43(3) “Development Standards”
Pertaining to the Infill Housing Overlay**

Amend Section 2-2 “Definitions” Infill Housing

Front Yard

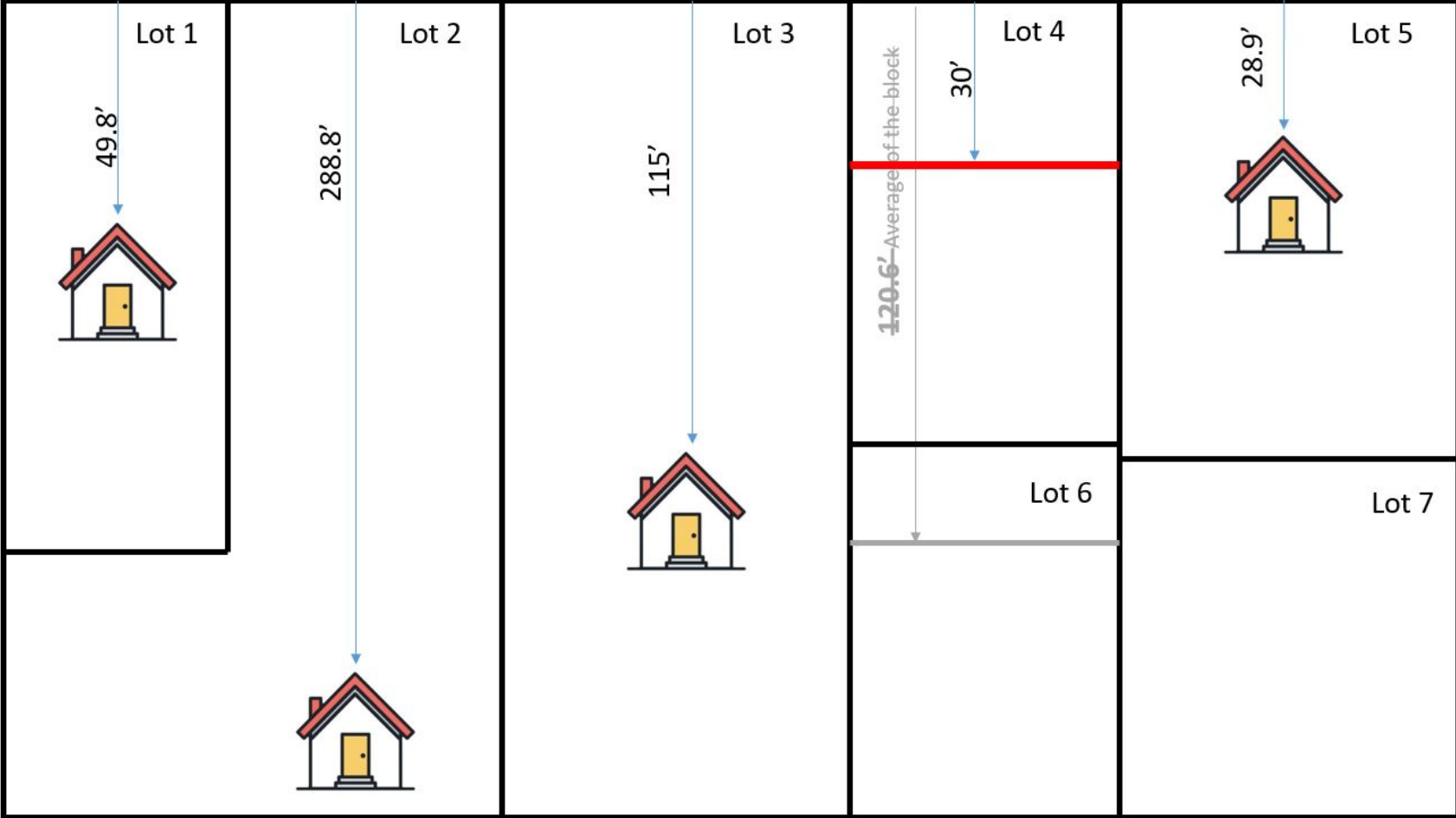
Average of the block, more than 30'

- minimum setback 30'

- no build-to line

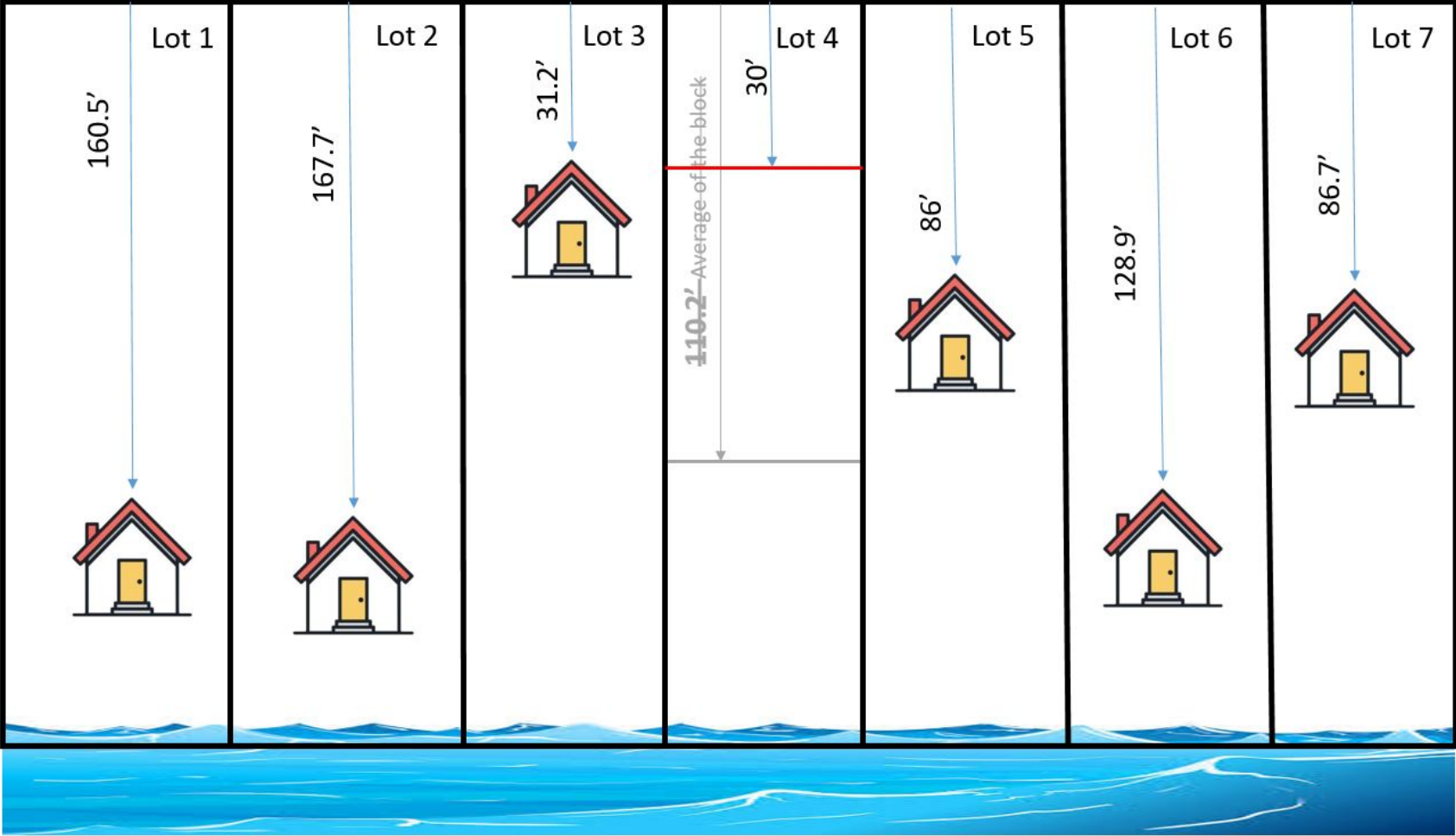
Proposed Ordinance

A Street



Proposed Ordinance

B Street



Proposal

Remove the definition “infill housing”

- Intent for infill overlay is for development on substandard residential lots
- Substandard is defined
- Infill definition is duplicative

Recommendations

Staff recommends **approval** of
Zoning Ordinance Amendments:
#20-0196 (Development standards)
#20-0197 (Definition removal)