



Application for  
**Rezoning**

Complete this application in its entirety and submit pages 4 and 5 along with the required materials (including any required supplements) as listed on page 2 to the address below:

City of Hampton  
Community Development Department, Planning Division  
22 Lincoln Street, 5th Floor  
Hampton, Virginia 23669

OFFICE USE ONLY  
Date Received:

**June 30, 2022**

Case Number: **RZ 22-00003**

**1. PROPERTY INFORMATION**

Address or Location 700 and 750 Shell Road, Hampton, VA 23661

LRSN 1004270 & 13004501 Current Zoning District R-13 Proposed Zoning District M-2

Current Land Use Undeveloped / old School for the Deaf and the Blind

Proposed Land Use Industrial

The proposed use will be in: ☐ an existing building ☐ a new addition ☒ a new building

**2. PROPERTY OWNER INFORMATION (an individual or a legal entity may be listed as owner)**

City of Hampton (proposed vacated portion of Pine Avenue)  
Owner's Name Phenix Industrial LLC (1004270) & Economic Development Authority (13004501)  
11864 Canon Blvd, Ste 103 (1004270) Newport News (1004270) 23606 (1004270)  
Address 1 Franklin St, Ste 600 (13004501) City Hampton (13004501) State VA Zip 23669 (13004501)  
Phone \_\_\_\_\_ Email \_\_\_\_\_

**3. APPLICANT INFORMATION (if different from owner)**

Applicant's Name NorthPoint c.o. Marc Gloyeske and the City of Hampton on behalf of the EDA  
Address 4805 Montgomery Rd, Suite 310 City Cincinnati State OH Zip 45212  
Phone 859-250-1721 Email MGloyeske@northpointkc.com

**4. APPLICANT AGENT INFORMATION (if different from applicant)**

Agent's Name Dave France, Kimley-Horn  
Address 4525 Main Street, Suite 1000 City Virginia Beach State VA Zip 23462  
Phone 757-213-8600 Email Dave.France@Kimley-Horn.com

## 5. CERTIFICATION FOR LEGAL ENTITY PROPERTY OWNERS

Complete this section only if the property owner is **not** an individual but rather a legal entity such as a corporation, trust, LLC, partnership, diocese, etc. as specified in Step 2 above.

"I hereby submit that I am legally authorized to execute this application on behalf of the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity Phenix Industrial LLC

Signed by:

Name (printed) Gregory M. Garrett, Its (title) Managing Partner

Signature Greg Garrett Greg Garrett Date 3/30/22

Name (printed) Lynn Howard, Its (title) partner

Signature [Signature] Date March 30, 2022

Name (printed) Tressa Majka, Its (title) Partner

Signature Tressa Majka Date April 6, 2022

## 6. CERTIFICATION FOR INDIVIDUAL PROPERTY OWNERS

Complete this section only if the property owner is an individual or individuals.

"I hereby submit that I am the fee-simple owner of this property. I have read this application and it is submitted with my full knowledge and consent. I authorize city staff and representatives to have access to this property for inspection. The information contained in this application is accurate and correct to the best of my knowledge."

Name(s), signature(s), and date(s) of owner(s) (attach additional page if necessary):

Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

### OFFICE USE ONLY

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Application Form | <input type="checkbox"/> Narrative Statement | <input type="checkbox"/> Proffer Statement                  |
| <input type="checkbox"/> Application Fee  | <input type="checkbox"/> Survey Plat         | <input type="checkbox"/> Additional materials (if required) |

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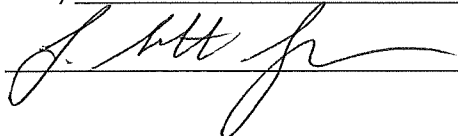
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Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF HAMPTON, VIRGINIA

Signed by:

Name (printed) L. SCOTT SEYMOUR, Its (title) CHAIR

Signature  \* Date 9/20/2022

Name (printed) \_\_\_\_\_, Its (title) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_, Its (title) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

\*CONSENT SUBJECT TO THE ATTACHED DISCLAIMER

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Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

### OFFICE USE ONLY

☐ Application Form

☐ Narrative Statement

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Name(s), title(s), signature(s), and date(s) of authorized representative(s) of the legal entity (attach additional page if necessary):

Name of Legal Entity City of Hampton, Virginia

Signed by:

Name (printed) Mary B. Bunting, Its (title) City Manager

Signature Mary B. Bunting Date 9/29/22

Name (printed) \_\_\_\_\_, Its (title) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_, Its (title) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

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Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

### OFFICE USE ONLY

☐ Application Form

☐ Narrative Statement

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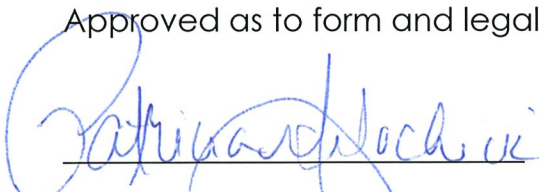
## OWNER SIGNATURE DISCLAIMER

Sections 14-3 and 14-21 of the City zoning ordinance require the written consent of the subject property owner for all use permit and rezoning applications. The Economic Development Authority of the City of Hampton, Virginia (EDA) is the current owner of the subject property. Accordingly, the EDA Chair's signature represents the EDA's consent to process the application, but does not constitute and should not be deemed to be an agreement by the EDA to dispose of its property. The EDA reserves the right to revoke this consent in the event an agreement has not been executed by the EDA and the Applicant for the development of the parcels in the manner contemplated by the application.

  
Chair/~~Vice Chair~~

Dated: 9/20/2022

Approved as to form and legal sufficiency:

  
EDA Legal Counsel

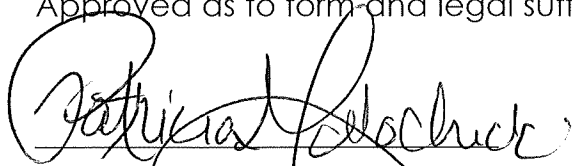
## OWNER SIGNATURE DISCLAIMER

Sections 14-3 and 14-21 of the City zoning ordinance require the written consent of the subject property owner for all use permit and rezoning applications. The City of Hampton, Virginia (the "City") is the current owner of a portion of the subject property. Accordingly, the signature of the City Manager or her designee represents the City's consent to process the application, but does not constitute and should not be deemed to be an agreement by the City to dispose of its property nor is it an endorsement of any development proposal.

  
City Manager (or designee)

Dated: 9/29/22

Approved as to form and legal sufficiency:

  
Sr. Deputy City Attorney

HAMPTON, VIRGINIA  
REVISED: MAY 5, 2022

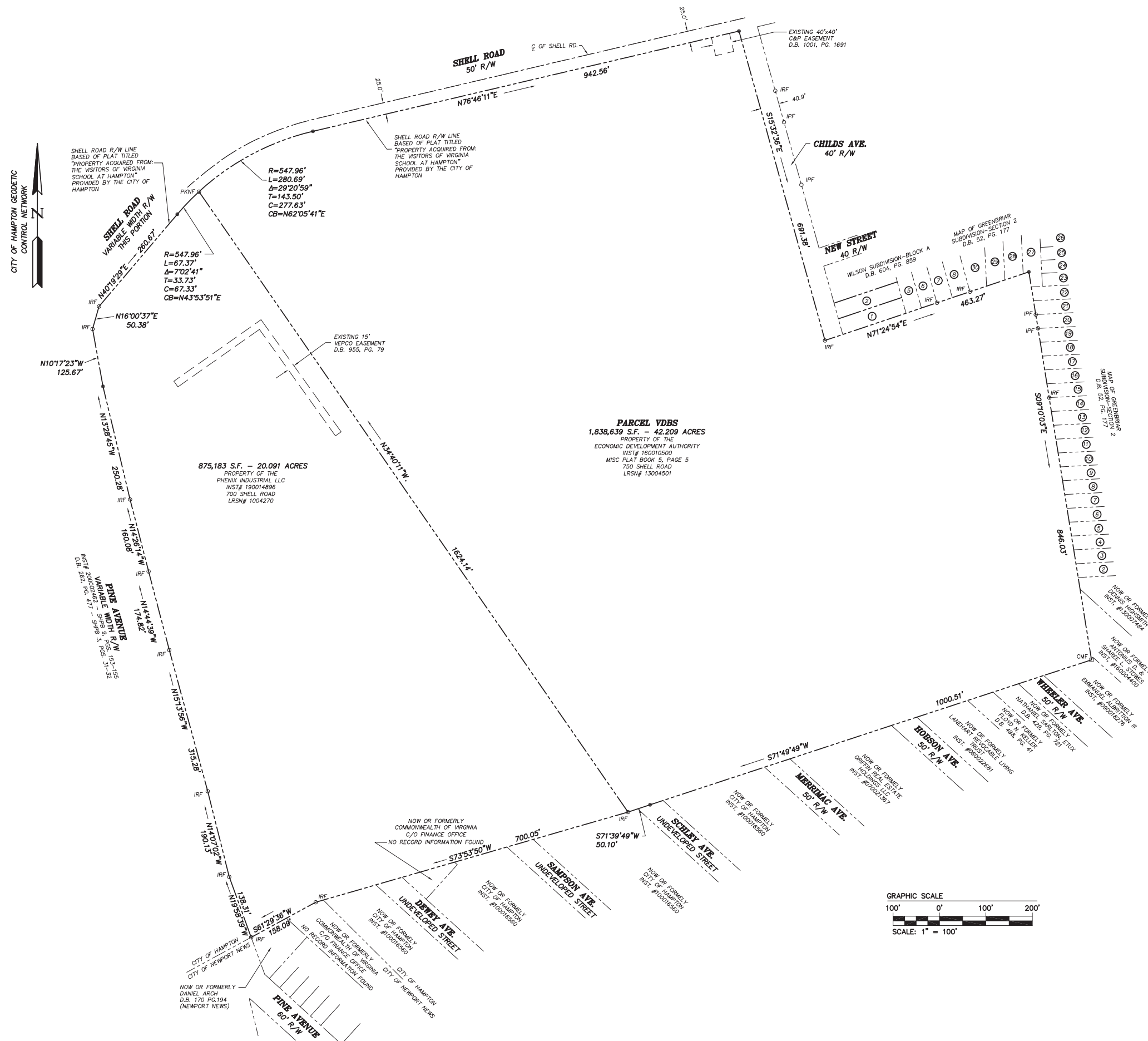
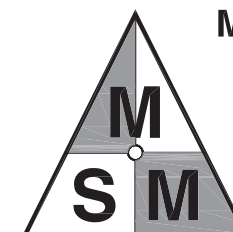
HAMPTON, VIRGINIA  
REVISED: MAY 5, 2022



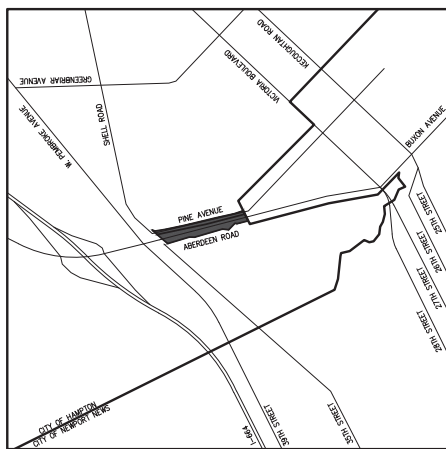
NOTES:

1. THIS SURVEY IS FOR REZONING PURPOSES ONLY AND DOES NOT CONSTITUTE A PHYSICAL OR BOUNDARY SURVEY OF ANY KIND.

**41 OLD OYSTER POINT RD.  
SUITE B  
NEWPORT NEWS, VA. 23602  
TEL 757.873.1762  
FAX 757.873.1772**



MAPCHECK BY PWM 5/3/22



VICINITY MAP  
(SCALE: 1" = 1/4 MILE)

DISCLAIMER FOR ELECTRONICALLY TRANSMITTED DOCUMENTS

THE ORIGINAL SIGNED VERSION OF THIS PLAN OR PLAT IS ON FILE AT THE CITY OF HAMPTON PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION AT 22 LINCOLN STREET, HAMPTON, VIRGINIA. NEITHER THE CITY OF HAMPTON NOR THE LICENSED LAND SURVEYOR WHO PREPARED THIS PLAN OR PLAT ASSUMES ANY RESPONSIBILITY FOR SUBSEQUENT CHANGES TO THE INFORMATION OR DATA SHOWN ON THE ORIGINAL SIGNED VERSION, WHICH ARE NOT MADE BY THE SURVEYOR OR HIS EMPLOYEES OR AGENTS, BUT BY ANY OTHER PERSON OR PERSONS WHO MAY ALTER OR MODIFY THE INFORMATION OR DATA FOR ANY PURPOSE OR PURPOSES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR OR HIS EMPLOYEES OR AGENTS. THE SURVEYOR OR HIS EMPLOYEES OR AGENTS SHALL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATIONS OR MODIFICATIONS.

THE COORDINATE SYSTEM THIS TOPOGRAPHIC SURVEY IS BASED ON IS SUBJECT TO THE ELECTRONIC DOCUMENT DISCLAIMER.

NOTES:

1. THE LAND BOUNDARY SURVEY SHOWN HEREON IS BASED UPON A CURRENT FIELD SURVEY.
2. A CURRENT TITLE REPORT WAS NOT FURNISHED FOR THIS SURVEY.
3. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF HAMPTON AND ALL MATTERS OF PUBLIC RECORD.
4. NO ORIGINAL MONUMENTS WERE FOUND FOR THE COMBINED ABERDEEN ROAD/PINE AVENUE RIGHT-OF-WAY IN THE FIELD. TO ESTABLISH THE LOCATION OF ABERDEEN/PINE, MONUMENTATION ALONG THE RIGHTS-OF-WAY OF SHELL ROAD IN THE CITY OF HAMPTON AND PINE AVENUE IN THE CITY OF NEWPORT NEWS, VA, WAS USED TO DETERMINE THE BEARINGS OF SHELL & PINE HELD TO THE VDOT PROJECT PLANS LISTED BELOW.

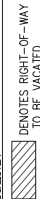
ADDITIONAL REFERENCES:

RESOLUTION OF THE COMMONWEALTH TRANSPORTATION BOARD, SEPT. 18, 2018, AGENDA ITEM #9 (LIMITED ACCESS CONTROL CHANGE, ABERDEEN ROAD)  
P.B. 1, PG. 41  
VDOT PROJECT #0064-114-000, MICROFILM #4064/75  
(STATE HIGHWAY PLAT BOOK 2, PG. 219-220)  
(STATE HIGHWAY PLAT BOOK 3, PG. 30-32)  
VDOT PROJECT #0064-114-000, MICROFILM #425588  
(STATE HIGHWAY PLAT BOOK 4, PG. 154)  
D.B. 94, PG. 318-319 (PLAT)  
D.B. 67, PG. 346-349 (PLAT)

ACREAGE CALCULATIONS:

	Square Footage	Acreage
Ex. Aberdeen Road/Pine Avenue Right-of-Way	254634	5.8456
City Reserve Parcel (Former Pine Avenue Right-of-Way)	71960	1.6520
Remaining Aberdeen Road Right-of-Way	182674	4.1936

LEGEND:

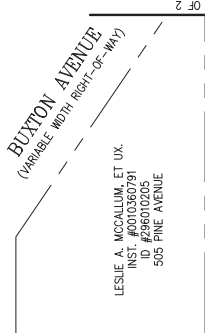


Plat Showing  
a Portion of Aberdeen Road/Pine Avenue  
To be Vacated  
Hampton, VA

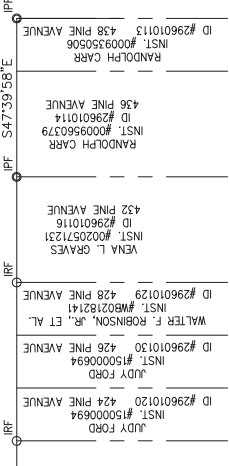


CITY SURVEYOR - RANDALL J. EDWARDS, L.S.  
CITY ENGINEER - JAMES M. HARRIS, L.S.  
PUBLIC WORKS ENGINEERING  
22 LINCOLN ST., HAMPTON VA 23669

SURVEY BY: R.J. Edwards, L.S. DATE: 30 March, 2020  
CALC BY: R.J. Edwards, L.S. REVISED: 30 Sept., 2022  
DRAWN BY: R.J. Edwards, L.S. SCALE: 1" = 50'  
CHMD BY: R.J. Edwards, L.S. SHEET 1 OF 2



PINE AVENUE  
(60' RIGHT-OF-WAY)



CERTIFICATION STATEMENT:

This map and plat were prepared by me in conformance with all provisions of the Virginia Subdivision Map Act, Chapter 13.1 of the Code of Virginia, and the rules and regulations of the Board of Professional Land Surveyors of the State of Virginia. I am a duly licensed Professional Land Surveyor in the State of Virginia. The undersigned does not certify as to the correctness of the streets, boundaries, or other lines as shown on this plat.

City of Hampton, VA Subdivision Agent \_\_\_\_\_ Date \_\_\_\_\_

City of Hampton, VA Director of Public Works \_\_\_\_\_ Date \_\_\_\_\_

OWNER'S STATEMENT:

The platting or dedication of the following described land, "Plat Showing a Portion of Aberdeen Road/Pine Avenue To be Vacated, Hampton, VA" is with the free consent and in accordance with the desire of the undersigned owners, proprietors and trustees, if any.

Mary Bunting \_\_\_\_\_ Date \_\_\_\_\_  
City Manager, City of Hampton, VA

City of Virginia

City of Hampton, to wit:

I, \_\_\_\_\_, a Notary for the City and State aforesaid, do hereby certify that \_\_\_\_\_ (Owner/President/Managing Member [choose one]) whose name is signed to the foregoing writing has acknowledged the same before me in my City and State aforesaid. He/She is personally known to me or has produced \_\_\_\_\_ as identification.  
Given under my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Notary Public \_\_\_\_\_

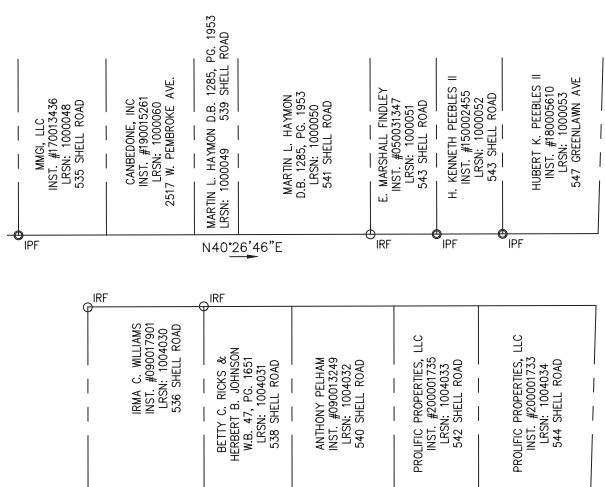
Registration Number: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Commonwealth of Virginia  
City of Hampton, to wit:

In the Clerk's Office of the Circuit Court of the City of Hampton, VA A.D. 20\_\_\_\_, at \_\_\_\_\_ M. the foregoing instrument was this day presented in the office and upon certificate thereto annexed, admitted to record as the law directs in Miscellaneous Plat Book \_\_\_\_\_, Page \_\_\_\_\_.

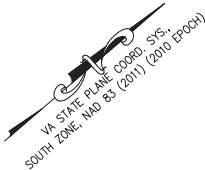
Teste: Linda Batchelor Smith, Clerk  
By: \_\_\_\_\_ Clerk / Deputy Clerk



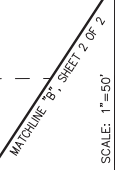
GREENLAWN AVENUE  
(50' RIGHT-OF-WAY)


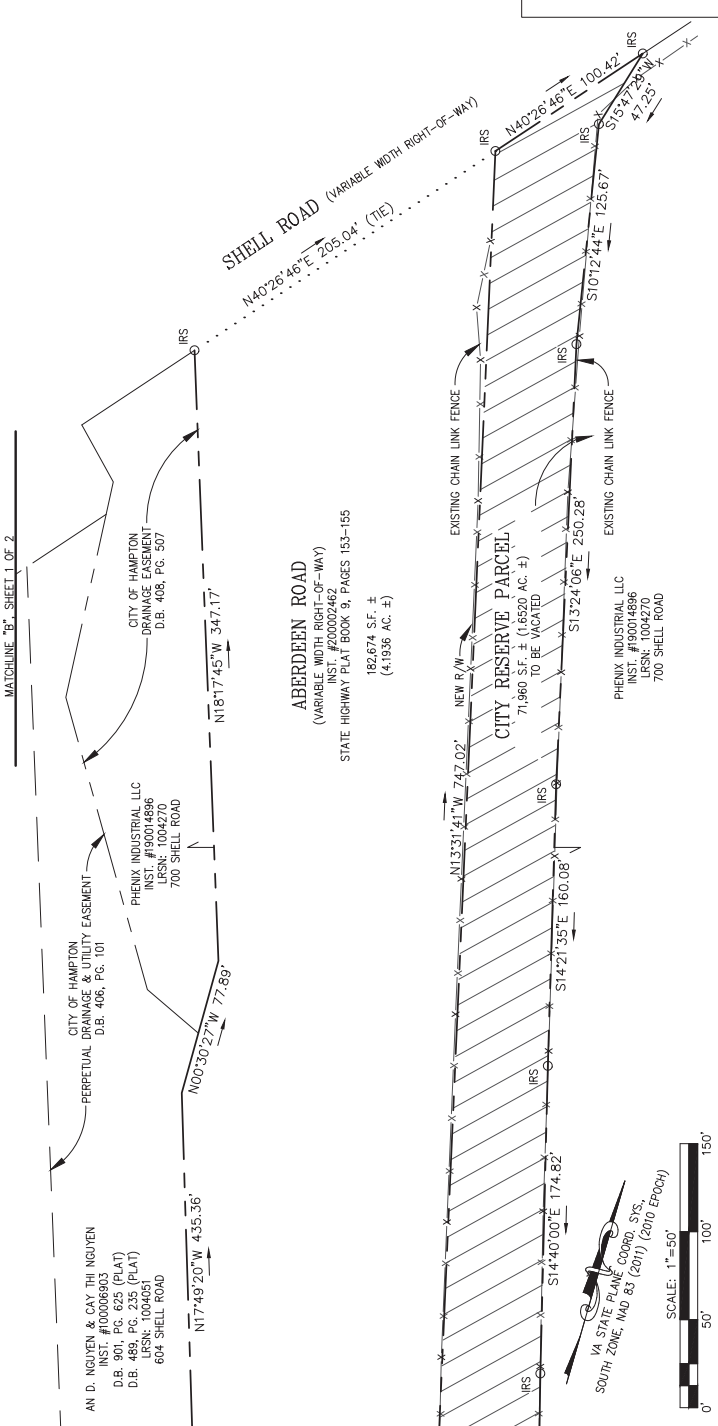
SHELL ROAD (VARIABLE WIDTH RIGHT-OF-WAY)

AN D. MUYON & GAY TH. MUYON  
D.B. 901, PG. 223 (PLAT)  
D.B. 903, PG. 223 (PLAT)  
604 SHELL ROAD



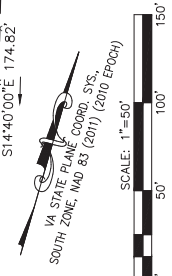
VI STATE PLAT BOOK 6040, SYG,  
SOUTH ZONE, MAP 8J (2011) (2010 PROPOSED)





CITY SURVEYOR — RANDAL J. EDWARDS, L.S.  
CITY OF HAMPTON  
PUBLIC WORKS ENGINEERING  
22 LINCOLN ST., HAMPTON VA 23669

DATE: 30 March, 2020  
REVISED: 30 Sept., 2022  
DRAWN BY: R.J. Edwards, L.S.  
CHECKED BY: R.J. Edwards, L.S.  
SCALE: 1" = 50'  
SHEET 2 OF 2



**NORTHPOINT DEVELOPMENT, LLC**  
**REZONING APPLICATION NARRATIVE**

**Location:**

The subject properties of this rezoning request are located at 700 Shell Road (LRSN: 1004270) and 750 Shell Road (LRSN: 13004501), at the former School for the Deaf and Blind. The properties are located at the intersection of Shell Road and Pine Avenue, southeast of the intersection of Aberdeen Road and West Pembroke Avenue in Hampton, Virginia. The property at 700 Shell Road is approximately 20.091 acres and 750 Shell Road is approximately 42.209 acres, totaling 62.3 acres on the subject parcels.

**Rezoning Need:**

The subject parcels are currently zoned R-13 – One Family Residential and have been left vacant for quite some time. This property represents a financial cost in unrealized property tax revenue and jobs. As such, it is important to redevelop, revitalize and reinvest in this Aberdeen Road Business Corridor property with the proposed development. The current zoning does not meet the needs of the proposed development. The project proposes two multi-tenant industrial buildings. The specific tenants and uses are unknown at this time but will comply with the proposed uses that are found within the proffer statement included with this submittal, and which are approved in the M-2 zoning classification.

An increasing number of port related, warehousing, manufacturing, and other tenants are looking for Class A space within the Hampton Roads industrial submarket. Supply and demand imbalance has caused a decrease in Class A industrial space availability yielding ultra-low vacancy rates of 0.9%. The limited amount of space available in the market has caused prospective tenants to look outside of Hampton Roads in locations such as Richmond, Greensboro, and Raleigh-Durham.

This property has excellent access to the distribution corridors of the east coast in I-95 and could serve over 72 million people within a one-day truck drive. The property is also near both the Norfolk International Port and Virginia International Gateway which puts this development in a position to capture container driven warehouse demand. This is a unique infill opportunity which would meet the City of Hampton's 2006 Land Use Plan once rezoned as industrial use.

**Proposed Use:**

The proposed use of the subject properties is for two multi-tenant industrial buildings. Since the current R-13 – One Family Residential zoning restricts industrial uses, a rezoning to M-2 – Light Manufacturing district is needed. The proposed use adheres to the City of Hampton's Community Plan (2006) in the following ways:

- Meets the theme of Economic Sustainability as noted in *Section II: Vision and Goals* by promoting redevelopment and economic development and investing in infrastructure.
- Meets the theme of Community Partnerships and Engagement as noted in *Section II: Vision and Goals* by incorporating the SWaM Business Goal and engaging the community in multiple meetings to hear and alleviate some of their concerns within the private development and the surrounding community facilities.
- Meets the theme of Preparing Citizens for Future Success as noted in *Section II: Vision and Goals* by providing a top-tier 5,600 SF Workforce Training space to provide opportunities to prepare citizens for future success.

- Meets *Land Use and Community Design (LU-CD) Policy 1* by playing an active role in the land development process
- Meets *LU-CD Policy 4* by adhering to the Land Use Plan Map
- Meets *LU-CD Policy 11* by promoting high quality design and site planning that is compatible with the surrounding area along the Aberdeen Road Business Corridor and within ½ mile of the Copeland Industrial Park
- Meets *LU-CD Policy 15* by maintaining an aesthetically pleasing street network that helps frame and define the community while meeting the needs of pedestrians, bicyclist, and motorists
- Meets *LU-CD Policy 18* by promoting the important role of trees and quality landscaping as part of the development
- The Land Use Plan Map shown in *Section III: Land Use and Community Design* identifies the property as future business/industrial which aligns with the permitted uses allowed in the M-2 zoning code
- Per the proffer statement, use of the Property shall be limited to the following:

1. Uses Permitted. Use of the property shall be limited to the following:

- a. Office, general
- b. Office, government
- c. Office, laboratory or research
- d. Machine shop or light metal fabrication
- e. Manufacturing/processing/treatment 1B, all uses listed below, except those struck through
  - i. aircraft and spacecraft (including component parts);
  - ii. medical, photographic and metering equipment;
  - iii. drafting, optical and musical instruments;
  - iv. watches and clocks;
  - v. toys, novelties and games; electronic apparatus;
  - vi. light mechanical and electrical devices;
  - vii. machines (including component parts);
  - viii. meters;
  - ix. wire products;
  - x. pumps;
  - xi. vending and office machines;
  - xii. appliances;
  - xiii. electronic equipment (including parts such as coils, thermostats, heaters, generators but excluding heavy parts such as electrical power generation components);
  - xiv. bolts, nuts, screws and rivets;
  - ~~xv. firearms (excluding ammunitions and explosives);~~
  - ~~xvi. tools, dies, machinery and hardware;~~
  - xvii. bakery and dairy products;
  - xviii. fruit, vegetable, ~~meat and poultry~~ products (excluding slaughtering and bulk storage of animal feed or grain);
  - xix. pillows, quilts, clothing and textiles;
  - xx. boxes, ~~furniture and light wood products.~~
- f. Manufacturing/processing/treatment 4E; including;
  - i. appliances,
  - ii. electrical devices,
  - iii. light mechanical products,



- iv. pottery,
- v. signs (including electric and neon),
- vi. cosmetics,
- vii. pharmaceuticals.

g. Warehouse/distribution center

h. Wholesaler

i. Any other uses specifically approved by the Hampton EDA and Hampton Planning Department that fit within a M-2 zoning district.

The property will be subdivided into two parcels, one for each building and its associated parking lots and loading areas. Lot A will be subdivided into approximately 33.7 acres with a 540,700 square foot building (Building 1). Lot B will be approximately 29.8 acres with a 300,600 square foot building (Building 2). Specific tenants are unknown, but the market indicates Building 1 could be 1-2 tenants with a focus on light manufacturing and warehouse storage while Building 2 could be 4 tenants with a heavier focus on office, light manufacturing/assembly, technology, or research and development uses. Access to the development will be via I-664 and Aberdeen Ave. A new traffic light will be installed on Aberdeen to allow for ease of ingress and egress for the industrial and standard vehicular traffic. Two additional entrances are proposed on Shell Road but will be blocked off for emergency access only. Additional private traffic measures will be in place on site to ensure industrial traffic is directed in and out of the Aberdeen access point. Other proposed improvements include on-site truck and employee parking, loading areas, associated landscaping, and stormwater management ponds. Additionally, Pine Avenue will be closed to vehicular traffic and a portion of the existing asphalt converted to a multi-use path that parallels Aberdeen Road along the property frontage. A hammer-head turn around is proposed at the Shell Road dead end and a cul-de-sac is proposed at the Pine Avenue. Conceptual site plans, landscape plan, property line exhibit, and building elevations are included in this submittal package.

#### **Adjacent Properties:**

The subject properties are bounded to the west by Aberdeen Road and Pine Avenue, to the north by Shell Road, to the east by residences, and to the south by residences and parcels owned by City of Hampton. The adjacent properties are zoned residential (R-9, R-11, and R-13). The proposed development is intentionally designed to minimize impact to adjacent properties, such as landscape buffers that exceed code requirements, a proposed noise wall on-site that parallels Childs Avenue, and orienting the truck loading areas internal to the site to reduce noise. The main entrance to the development is proposed on Aberdeen Road, which provides direct access from interstate 664 to the site and avoids traffic entering into the neighborhood. Additionally, the Shell Road entrances are designed for emergency access only; therefore, preventing any truck traffic from encroaching into the neighborhood. Drainage resulting from the development will be collected on-site and conveyed to the proposed stormwater management facilities on the west side of the site for treatment and detention.

#### **Community Involvement:**

A community meeting was held on March 8, 2022 to inform the community about the proposed development and answer any questions. Two additional smaller, private community meetings were held in April to hear more questions and concerns. The last open community meeting was held on June 27, 2022 to address the original questions and concerns as well as answer any additional questions.

The development team is also planning for SWaM business participation in this project. A local company has been engaged to help carry out the plan. A statement about the importance of SWaM participation

in the project will be provided to general contractors in the bidding process to meet the participation goals. Once the project is awarded, a virtual vendor fair will be organized for SWaM qualified subcontractors to gain a better understanding of the project and how they can participate.

As noted in *Section VIII. Economic Development*, building a strong human capital is a priority for the Hampton Roads region. The development team shares the same sentiment and plans to provide approximately 5,600 SF of space in one of the buildings that will be dedicated towards Workforce Training and Development. The space will be built out as speculative office with an open floor plan and restrooms. The location of the space is preliminarily planned near the middle of Building 1.

### **City Services:**

There is existing infrastructure in the project vicinity that previously serviced the school. The existing public infrastructure in the right-of-way will be used to support the proposed development.

#### **Water:**

Existing water infrastructure exists in the vicinity of the site. The capacity of the existing system to support the proposed development is unknown at this time. The water infrastructure is comprised of the following:

- 8" DIP runs along Shell Road (installed in 1974)
- 12" CIP runs on portions of Greenlawn Ave and Pine Ave (installed in 1906)
- Waterlines on-site belong to Newport News Water Works

#### **Wastewater:**

Existing wastewater infrastructure exists in the vicinity of the site. The City has confirmed that the existing system has capacity to support the proposed development. The wastewater infrastructure is comprised of the following:

- A private sanitary gravity and sewer force main system exists on-site that previously conveyed wastewater from the school to a sanitary sewer manhole in Buxton Avenue that is owned by City of Newport News. Per City correspondence, the on-site system is not serviceable.
- 8" clay runs along Aberdeen Road, owned by City of Hampton. This system flows south in Aberdeen Road/Buxton Avenue right-of-way into City of Newport News and transitions ownership. There is a Hampton owned sanitary sewer manhole in the proximity of the subject site (the southwest corner).
- A private sanitary sewer force main is anticipated on-site to convey wastewater to the City's sewer system in Aberdeen Road/Buxton Avenue right-of-way.

#### **Stormwater:**

Existing stormwater infrastructure exists in the vicinity of the site. The stormwater infrastructure is comprised of the following:

- 18" and 24" diameter storm sewer pipes located in Aberdeen Road right-of-way that cross from the east side of Aberdeen Rd to the west into the drainage ditch that flows south paralleling Aberdeen Rd/Buxton Ave
- Stormwater management for compliance with City and State treatment regulations will be provided through additional proposed stormwater management basins that will be

constructed on the site. The proposed stormwater basins will outfall into the existing 18" and 24" storm sewer pipes that currently exist in the Aberdeen Road right-of-way.

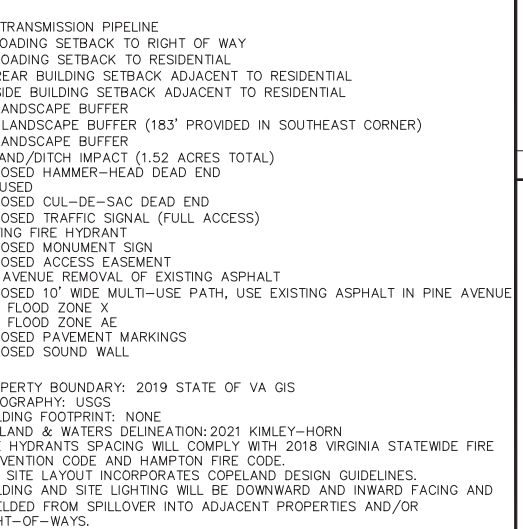
**Access:**
















Access will be provided to the site via Shell Road and Aberdeen Road as follows:

- 1 proposed entrance off Aberdeen Road for industrial and standard vehicular traffic access. This will be the development main entrance. The access will be signalized.
- 2 proposed access points on Shell Road that will be limited to emergency vehicles only controlled by emergency access gates
- Pine Avenue will be closed to vehicular traffic and a 10-foot width portion of the existing asphalt converted to a multi-use path that parallels Aberdeen Road along the property frontage. The multi-use path will cross the proposed Aberdeen Road site entrance with ADA ramps to provide an ADA accessible route for pedestrians to cross the entrance drive. The multi-use path will span from the cul-de-sac at the Pine Avenue dead end on the southern part of the property and extend north to Shell Road. A 5-foot wide concrete sidewalk is proposed from the multi-use path on Shell Road to the bus stop on W Pembroke Avenue.
- A hammer-head turn around is proposed at the Shell Road dead end
- A cul-de-sac turn around is proposed at the Pine Avenue dead end

**Building Exteriors and Materials:**

All buildings and structures shall be constructed of permanent and durable building materials. Primary materials shall include tilt-up concrete panels, pre-cast concrete, steel and aluminum exposed framing, glass (both vision and obscure), and/or pre-engineered metal. Secondary materials (constituting no more than 25%) may include cement fiber board, corrugated metal, and EFIS (exterior finishing insulated system with non-foam backing) materials.

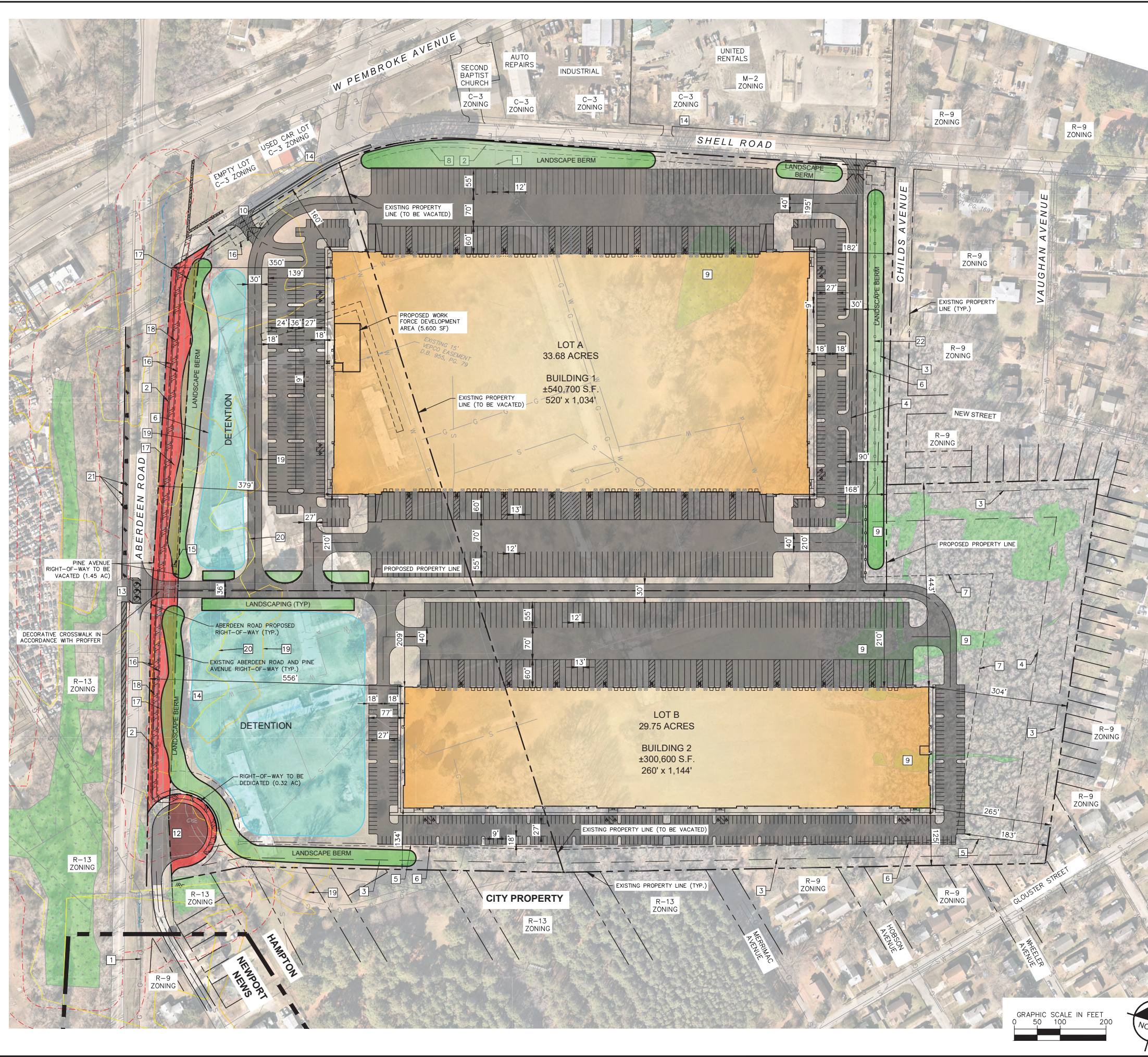


LEGEND	
GENERAL	
	DITCH
	CBPA BUFFER
	WETLANDS
	EMERGENCY ENTRANCE ONLY
	ROW VACATED
UTILITIES	
	NATURAL GAS LINE
	POWER/ELECTRIC LINE (SERVICE)
	SANITARY SEWER (GRAVITY-PRIVATE)
	SANITARY SEWER (FORCE MAIN-PRIVATE)
	SANITARY SEWER (GRAVITY-HAMPTON)
	SANITARY SEWER (GRAVITY-NEWPORT NEWS)
	SANITARY SEWER MANHOLE
	PUMP STATIONS (PRIVATE)
	STORM SEWER
	WATER MAINS

**Kimley»»Horn**



Plotted By: Bourke, Katy Street Set: K10a Layout: Site Plan with Aerial September 22, 2022 09:39:28am K:\VAB\_Civil\117128000 - Project Phenix - DD\AAD\Exhibits\Concept Plan\VA14\Site Plan - 117128000 SOVA vA14.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LEGEND**
1. GAS TRANSMISSION PIPELINE
  2. 10' LOADING SETBACK TO RIGHT OF WAY
  3. 20' LOADING SETBACK TO RESIDENTIAL
  4. 80' REAR BUILDING SETBACK ADJACENT TO RESIDENTIAL
  5. 55' SIDE BUILDING SETBACK ADJACENT TO RESIDENTIAL
  6. 50' LANDSCAPE BUFFER
  7. 200' LANDSCAPE BUFFER (183' PROVIDED IN SOUTHEAST CORNER)
  8. 20' LANDSCAPE BUFFER
  9. WETLAND/DITCH IMPACT (1.52 ACRES TOTAL)
  10. PROPOSED HAMMER-HEAD DEAD END
  11. NOT USED
  12. PROPOSED CUL-DE-SAC DEAD END
  13. PROPOSED TRAFFIC SIGNAL (FULL ACCESS)
  14. EXISTING FIRE HYDRANT
  15. PROPOSED MONUMENT SIGN
  16. PROPOSED ACCESS EASEMENT
  17. PINE AVENUE REMOVAL OF EXISTING ASPHALT
  18. PROPOSED 10' WIDE MULTI-USE PATH, USE EXISTING ASPHALT IN PINE AVENUE
  19. FEMA FLOOD ZONE X
  20. FEMA FLOOD ZONE AE
  21. PROPOSED PAVEMENT MARKINGS
  22. PROPOSED SOUND WALL
- NOTES:**
1. PROPERTY BOUNDARY: 2019 STATE OF VA GIS
  2. TOPOGRAPHY: USGS
  3. BUILDING FOOTPRINT: NONE
  4. WETLAND & WATERS DELINEATION: 2021 KIMLEY-HORN
  5. FIRE HYDRANTS SPACING WILL COMPLY WITH 2018 VIRGINIA STATEWIDE FIRE PREVENTION CODE AND HAMPTON FIRE CODE
  6. THE SITE LAYOUT INCORPORATES COPELAND DESIGN GUIDELINES.
  7. BUILDING AND SITE LIGHTING WILL BE DOWNWARD AND INWARD FACING AND SHIELDED FROM SPILLOVER INTO ADJACENT PROPERTIES AND/OR RIGHT-OF-WAYS.







LEGEND	
GENERAL	
	DITCH
	CBPA BUFFER
	WETLANDS
	EMERGENCY ENTRANCE ONLY
	ROW VACATION OR DEDICATION
UTILITIES	
	NATURAL GAS LINE
	POWER/ELECTRIC LINE (SERVICE)
	SANITARY SEWER (GRAVITY-PRIVATE)
	SANITARY SEWER (FORCE MAIN-PRIVATE)
	SANITARY SEWER (GRAVITY-HAMPTON)
	SANITARY SEWER (GRAVITY-NEWPORT NEWS)
	SANITARY SEWER MANHOLE
	PUMP STATIONS (PRIVATE)
	STORM SEWER
	WATER MAINS

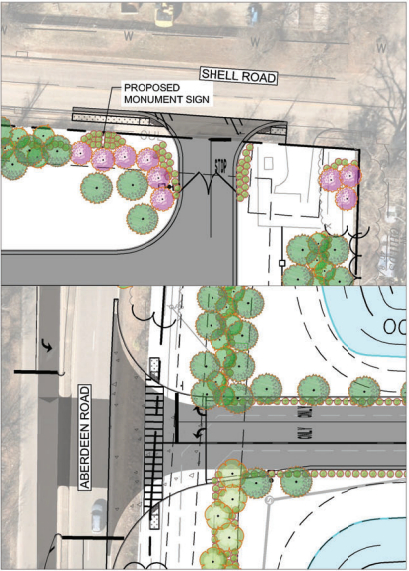
<b>PROJECT PHENIX</b> PREPARED FOR <b>NORTHPOINT DEVELOPMENT</b>	<b>PHENIX SITE PLAN</b>	KHA PROJECT 117128000 DATE 8/17/2022 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	VA	SHEET NUMBER <b>1 of 4</b>
<b>Kimley»Horn</b> © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 4525 MAIN STREET, SUITE 1000, VIRGINIA BEACH, VA 23462 PHONE: 757-213-8600 WWW.KIMLEY-HORN.COM		REVISIONS No. DATE BY		



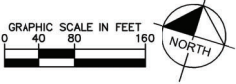


CONCEPT PLANT SCHEDULE

	DECIDUOUS TREE - 4" CAL. MIN. Acer rubrum / Red Maple Betula nigra / River Birch Multi-Trunk Carya ovata / Shagbark Hickory Fagus grandifolia / American Beech Liriodendron tulipifera / Tulip Poplar Magnolia virginiana / Sweetbay Magnolia Nyssa sylvatica / Tupelo Quercus alba / White Oak Quercus coccinea / Scarlet Oak	581
	SMALL DECIDUOUS TREE - 2" CAL. MIN. Amelanchier arborea / Kwaweenawberry Cercis canadensis / Eastern Redbud Multi-trunk Chionanthus virginicus / White Fringetree Cornus amomum obliqua / Silky Dogwood Cornus florida / Flowering Dogwood	225
	STREET TREE - ABERDEEN RD. - 4" CAL. MIN. Quercus phellos / Willow Oak	24
	EVERGREEN TREE - 1.5" CAL. MIN., 8' HT. MIN. Ilex opaca / American Holly Juniperus virginiana / Eastern Redcedar Magnolia grandiflora 'Buckers' / Bracken's Southern Magnolia Pinus taeda / Loblolly Pine Pinus virginiana / Virginia Pine Taxodium distichum / Bald Cypress	418
	ORNAMENTAL TREE - 2" CAL. MIN. Cercis canadensis / Eastern Redbud Multi-trunk Chionanthus virginicus / White Fringetree Cornus amomum obliqua / Silky Dogwood Cornus florida / Flowering Dogwood Prunus americana / American Plum	16
	SHRUBS - 30" HT. MIN. Aronia arbutifolia / Red Chokeberry Clethra alnifolia / Summersweet Ilex glabra / Inkberry Holly Ilex verticillata / Winterberry Ilex vomitoria / Yaupon Holly Kalmia latifolia / Mountain Laurel Morella serotina / Wax Myrtle Viburnum dentatum / Arrowwood / Arrowwood Viburnum Viburnum prunifolium / Blackhaw Viburnum	3,563



ENTRANCE ENLARGEMENTS  
SCALE: 1" = 40'



CONCEPT LANDSCAPE  
PLAN

PROJECT PHENIX  
PREPARED FOR  
NORTHPOINT DEVELOPMENT

VIRGINIA

CITY OF HAMPTON

No.

REVISIONS

DATE

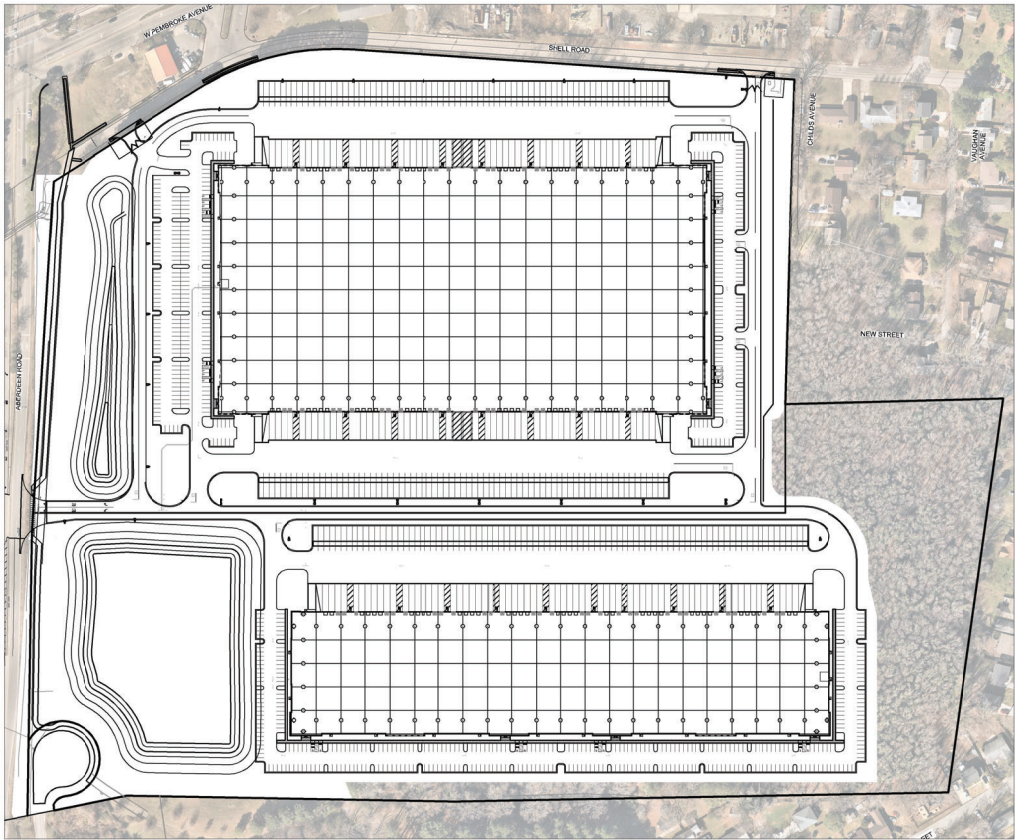
BY



BUFFER YARD REQUIREMENTS			
Location	Adjacent Use / Road Type	Width	Buffer Required
North	Shell Road	20' min.	Type A Buffer with 3' Tall Berm
East	Residential	25' min.	Modified Type E Buffer with Berm & Soundwall
South	Residential	50' min.	Type C Buffer with 7' Tall Berm
South	Residential with Treesave	15' min.	Modified Type A Buffer
West	Aberdeen Road	25' min.	Modified Type B Buffer with 7' Tall Berm
West	Aberdeen Road	14' - 18'	Modified Type A Buffer with 7' Tall Berm

HAMPTON VA: LANDSCAPE REQUIREMENTS			
Site Green Area Required			
Site Area	2,810,056 SF (64.51 Acres)		
Building Area	833,000 SF		
Net Site Area	1,977,056 SF		
GREEN AREA REQUIRED (10%)	197,706 SF	REQUIRED	PROVIDED
			1,388,244 SF
Trees (1 per 400 s.f. of Green Area)	495		1,264 Proposed Trees
			2,207 Ex. Trees
			Refer to Tree Conservation Table.
			3,471 Total Trees
Parking Lot			
Total Parking Spaces:	744 SPACES	REQUIRED	PROVIDED
		74	169
Trees (1 per 10 parking spaces)			
Shrubs	Low Evergreen Shrubs	Low Evergreen Shrubs	
Street Trees			
Location: Along Aberdeen Road			
Length	REQUIRED	PROVIDED	
Along Aberdeen Road	1275 LF	26	26
Species: <i>Quercus phellos</i>			

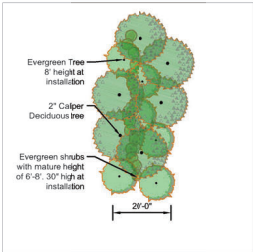
COPELAND DESIGN REQUIREMENTS			
Parking Lot			
Total Parking Area:	232,715 SF		
Refer to Parking Area Key Map			
Trees (1 per 1,500 SF of Parking Area)	156 Trees	REQUIRED	PROVIDED
		156 Trees	169 Trees
Tree Conservation Tabulations			
Tree Conservation Area	274,622 SF (6.30 Acres)	Area	Tree Quantity
Moderately Stocked	175 Stems per Acre		+/- 1,103 Trees
Green Space Tree Credit			
per Art 8 Sec. 2-1(b)(2) of the Landscape Ordinance			2,207 Trees



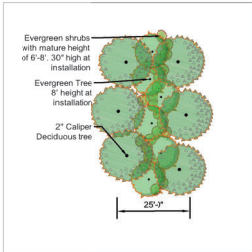
PARKING AREA KEY PLAN  
SCALE = 1" = 150'

PARKING AREA

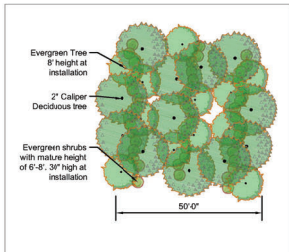
GRAPHIC SCALE IN FEET  
0 75 150 300



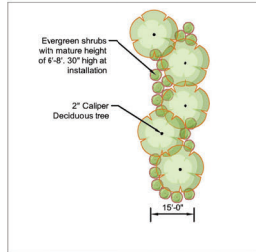
NORTH BUFFER - TYPE A BUFFER  
NOT TO SCALE



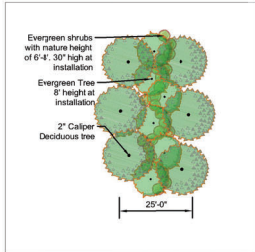
EAST BUFFER - MODIFIED TYPE E BUFFER  
NOT TO SCALE



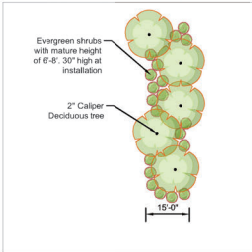
SOUTH BUFFER - TYPE C BUFFER  
NOT TO SCALE



SOUTH BUFFER - MODIFIED TYPE A BUFFER  
NOT TO SCALE



WEST BUFFER - MODIFIED TYPE B BUFFER  
NOT TO SCALE



WEST BUFFER - MODIFIED TYPE A BUFFER  
NOT TO SCALE

**DURISOL PVC NOISE BARRIERS**

**FEATURES & BENEFITS**

- Lightweight panels**
  - Makes installation considerably easier.
  - Reduces material weight requirements for roof and bridge designs.
  - Reduces need for heavy equipment for installation.
- Acoustic properties**
  - Single-sided absorptive.
  - Reflective panels are also available.
- Durability**
  - Mineral wool and PVC does not rust or rot and is impervious to rain, snow, and ice.
- Maintenance-free**
  - UV protected for all-weather conditions.
  - Panels are free-draining.
  - 50+ year lifespan.
- Easy-installation**
  - Lightweight panels are handled by a single crew member and dropped into place.
  - Tongue & Groove connection.

**WITHIN EARSHOT OF BUILDING NOISE**

Often one of the last pieces of a new building or retrofit project is noise abatement. Essential to the building performance, rooftop mechanical and cooling equipment cause unwanted noise and need to be controlled.

Whether a quick-fix privacy screen or an enclosure designed to encapsulate noise-emitting equipment, we will help you to meet the necessary criteria to keep your project on track.

**WITHIN EARSHOT OF ROAD OR RAIL TRAFFIC**

Reducing the noise emissions produced by all modes of transportation, Ministries of Transportation and Departments of Transportation across North America install noise barrier walls along busy roadways and growing rail networks to address noise concerns for the public.

We have yet another noise wall design option for the transportation sector that responds to both weight concerns, installation constraints, and economical value.

**TYPICAL APPLICATIONS**

- Industrial, Commercial, Institutional (ICI) Building Rooftops
- Roads, Highways & Bridges
- Rail
- Residential Developments

VISIT [DURISOL.COM](http://DURISOL.COM) FOR MORE INFORMATION.

**DURISOL PVC NOISE BARRIERS**

**A TRUSTED BRAND**

Adding to the diverse product portfolio of Durisol, comes another noise barrier product produced locally and delivered when you need it.

Lightweight and easy-to-install, our PVC noise walls are engineered to meet each site-specific noise abatement requirements. And depending on the criteria to be met, our noise reflective or noise absorptive panels give you options.

**A TRIED & TESTED NOISE WALL OPTION**

Our PVC noise walls are designed to meet the following codes and standards:

TESTING	DESCRIPTION
ASTM C422	0.95 NOISE REDUCTION COEFFICIENT (NRC)
ASTM E90-09	35 SOUND TRANSMISSION CLASS (STC)
ASTM E84	FIRE TESTING
ASTM D1435 - 2013	PHYSICAL OUTDOOR WEATHERING
ASTM G154 - 16	ACCELERATED WEATHER TESTING
ASTM D4226	IMPACT RESISTANCE
WIND LOADS	UP TO 48 PSF
CODES	DESCRIPTION
CAN/CSA Z107.9 - 00	CERTIFICATION OF NOISE BARRIERS
CSA S6:19	CANADIAN HIGHWAY BRIDGE DESIGN CODE
OPSS 760	CONSTRUCTION SPECIFICATION FOR NOISE BARRIER SYSTEMS
AASHTO LRFD	BRIDGE DESIGN SPECIFICATIONS, 9TH ED

**DESIGN DETAILS**

**POSTS:**

- Standard Steel posts.
- 10'-0" post spacing

**FOOTINGS:**

- Adaptable to various footing types.

**MOUNTING:**

- Structure or ground-mounted designs.
- Gravity-mounted design options available for roofs.

**NOISE MITIGATION:**

- Noise absorption and reflective panel options available.

**ARCHITECTURAL FINISH:**

- Standard white or bright white colours are available. Custom colours are also available.
- Smooth, flat finish is most common.

**INSTALLATION:**

- Precast base panel is required for all MTD projects.
- Once footings are prepared and posts are installed, panels are stacked until desired height is reached.
- Panel is constructed with a tongue and groove connection system.
- A top panel without a tongue connection is the final step of the wall construction.

**STRUCTURAL & ACOUSTIC PANELS**

Extruded Rigid PVC (RPVC) is a durable wall panel option for roadside to rooftop.

Durisol offers two types of acoustic PVC panels:

**ABSORPTIVE PANELS**

- Manufactured with slits on the front face of the panel and acoustic mineral wool enclosed within the absorptive panel.
- Proven and tested properties to consistently reduce noise when designed correctly.
- Noise reflective panels also available in addition to absorptive panels.

**STRUCTURAL PANELS**

- Structural panels contain a galvanized metal channel within it, where our acoustic panels will not.
- Structural panels provide strength to the wall by moving forces on the barrier to the vertical posts.
- The quantity of structural panels required is determined by specific wind loads and post spacing of each project.

VISIT [DURISOL.COM](http://DURISOL.COM) FOR MORE INFORMATION.

SOUND WALL DETAILS

CONCEPT LANDSCAPE  
TABULATIONS

PROJECT PHENIX  
PREPARED FOR  
NORTHPOINT DEVELOPMENT

VIRGINIA

CITY OF HAMPTON





studioNorth  
ARCHITECTURE  
4325 HWY 41st Street | Suite 200 | Falmouth, MO 64110  
816.333.7200  
RNP Studio North, LLC  
Virginia Certificate of Registration



Project Phenix  
Pine Road & Shell Road  
Hampton, VA

Project No.

Date: 03.09.2021

Issued For: Hampton EDA Design Review

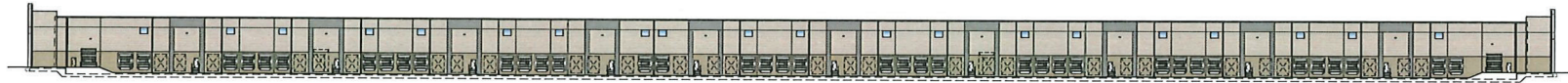
Revisions:

No.	Date	Description

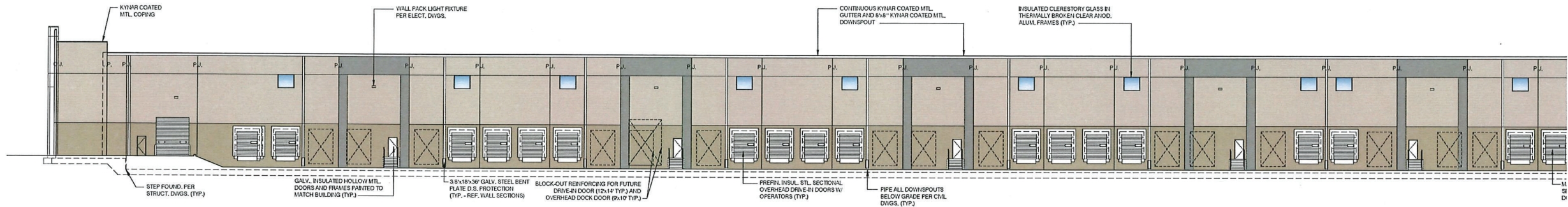
Preliminary  
Not For Construction

Ronald Dean Schumacher - Architect  
Virginia License No. 0601008309

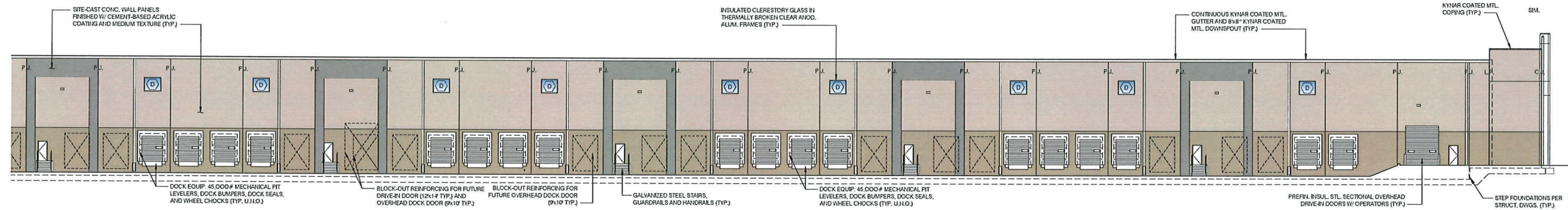
A4.03  
ELEVATIONS | SECTION



1 REAR LOAD - OVERALL CONCEPTUAL REAR WALL ELEVATION  
Scale: 1"=40'-0"



2 REAR LOAD - PARTIAL CONCEPTUAL REAR WALL ELEVATION  
Scale: 1"=20'-0"



3 REAR LOAD - PARTIAL CONCEPTUAL REAR WALL ELEVATION  
Scale: 1"=20'-0"





studioNorth  
ARCHITECTURE  
4825 HWY 41st Street | Suite 500 | Riverside, MO 64159  
816 | 488 | 1200  
HN Studio North, LLC  
Virginia Certificate of Registration



Project Phenix  
Pine Road & Shell Road  
Hampton, VA

Project No.		
Date	03.09.2021	
Issued For:	Hampton EDA Design Review	
Revisions:		
No.	Date	Description
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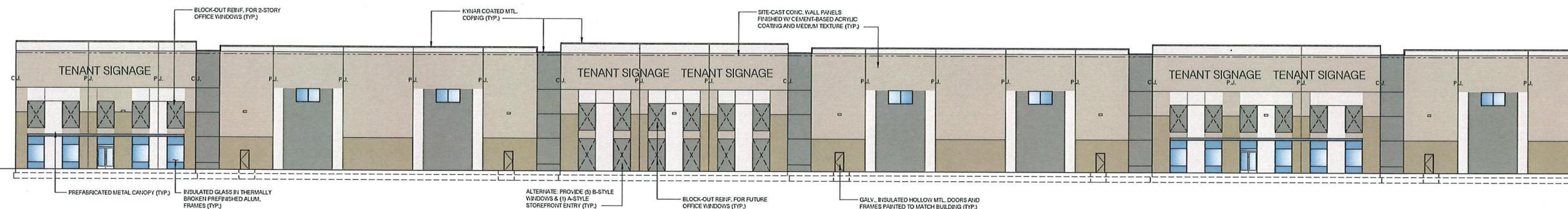
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Not For Construction

Ronald Dean Dehaene Architect  
Virginia License No. 0450191550

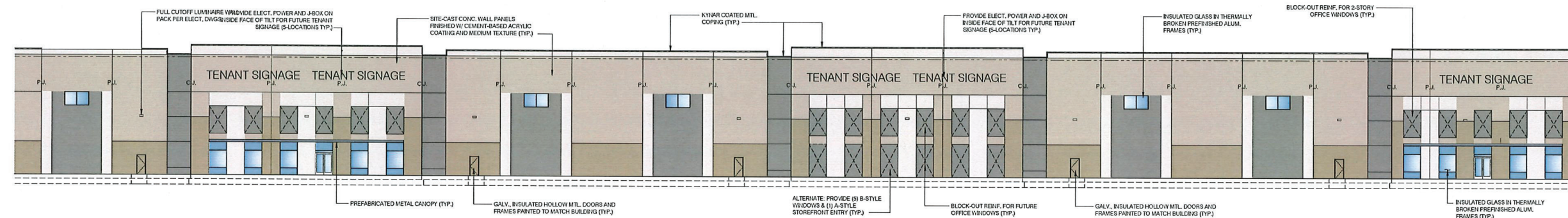
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ELEVATIONS



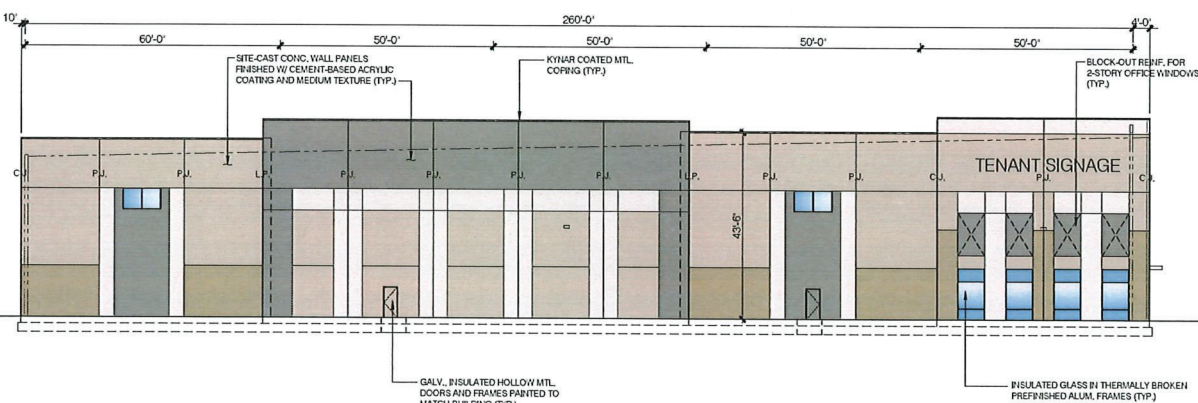
1 REAR LOAD - OVERALL CONCEPTUAL FRONT WALL ELEVATION  
Scale: 1"=40'-0"



2 REAR LOAD - PARTIAL CONCEPTUAL FRONT WALL ELEVATION  
Scale: 1"=20'-0"

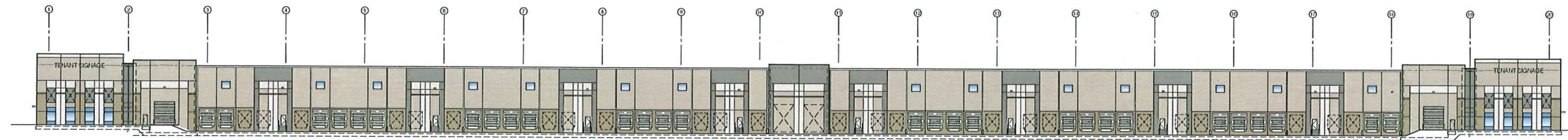


3 REAR LOAD - PARTIAL CONCEPTUAL FRONT WALL ELEVATION  
Scale: 1"=20'-0"

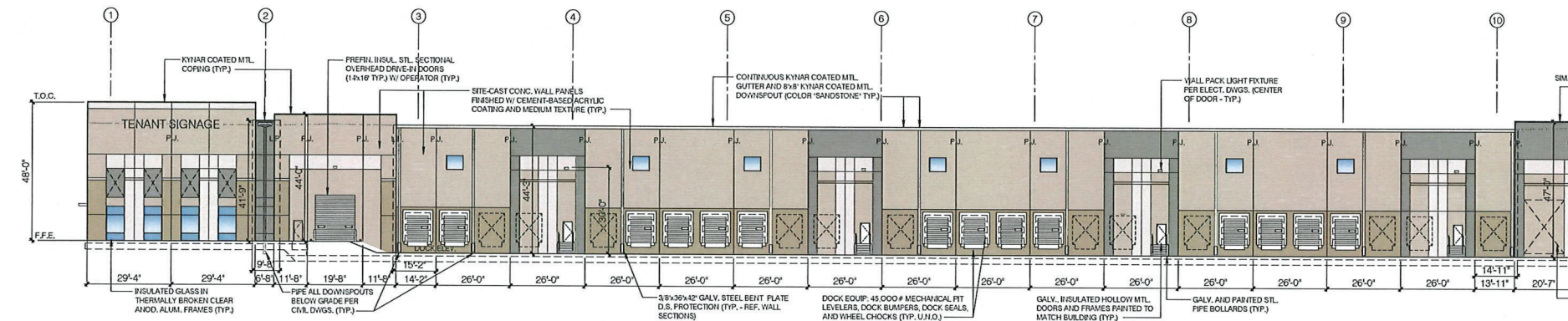


4 REAR LOAD - CONCEPTUAL END WALL ELEVATION  
Scale: 1"=20'-0"

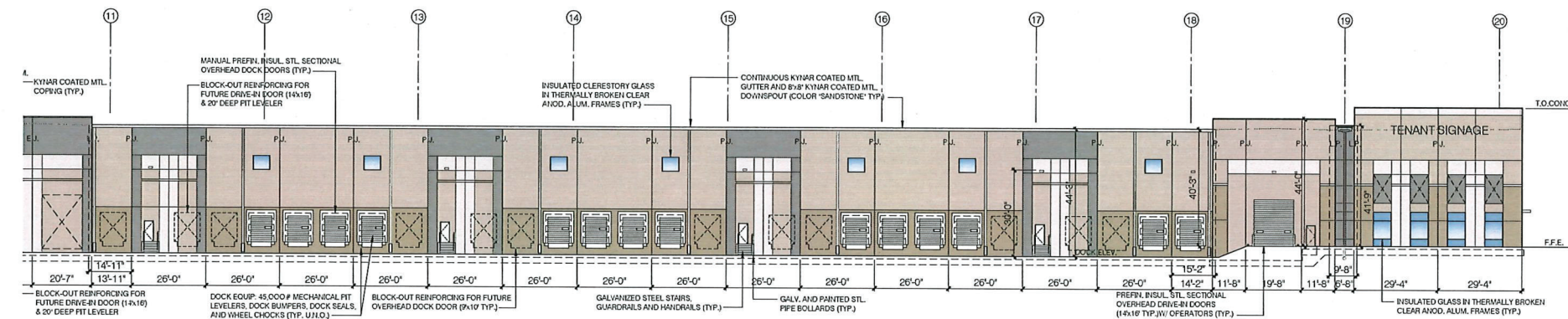




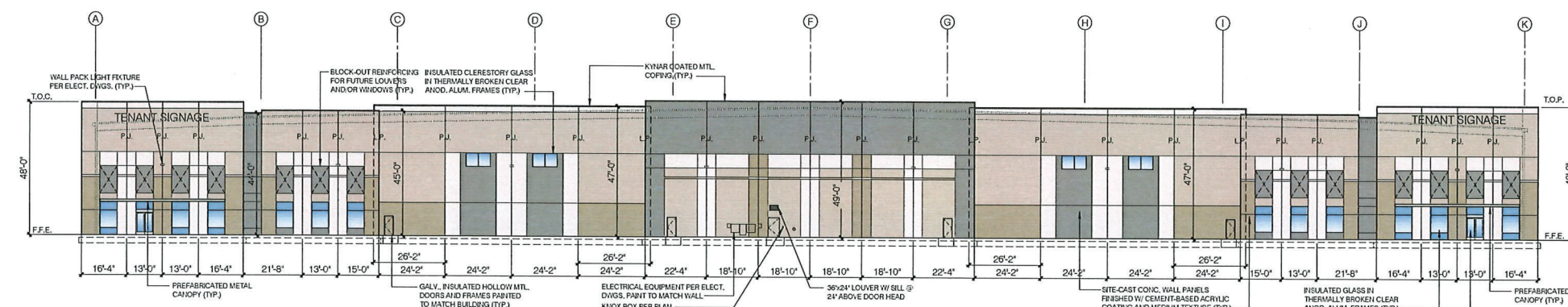
**1 CROSS DOCK - OVERALL CONCEPTUAL SIDE WALL ELEVATION**
  
Scale: 1"=30'-0"



**2 CROSS DOCK - PARTIAL CONCEPTUAL SIDE WALL ELEVATION**
  
Scale: 1"=20'-0"



**3 CROSS DOCK - PARTIAL CONCEPTUAL SIDE WALL ELEVATION**
  
Scale: 1"=20'-0"



**4 CROSS-DOCK - CONCEPTUAL END WALL ELEVATION**
  
Scale: 1"=20'-0"

**COLOR COATING LEGEND**

	SHERWIN WILLIAMS SW7043 'WORLDLY GRAY'
	SHERWIN WILLIAMS SW7038 'TONY TAUFEL'
	SHERWIN WILLIAMS SW7018 'DOVE TAIL'
	SHERWIN WILLIAMS SW7048 'MIDNIGHT MOON'

NOTE: CORING COLORS TO MATCH ADJACENT PAINT FINISH (TYP. ALL LOCATIONS - U.I.O.)  
 FIELD: SOUTH GUTTERS & DOWNSPOUTS TO MATCH 'WORLDLY GRAY' (EQ. TO CARLISLE 'SANDSTONE')  
 ACCENT: SOUTH CONDUCTOR HEADS AND DOWNSPOUTS TO MATCH 'DOVE TAIL' (EQ. TO CARLISLE 'SLATE GRAY' WHERE ADJACENT TO DARK ACCENT PAINT ONLY)  
 FIELD: NORTH CONDUCTOR HEADS AND DOWNSPOUTS TO MATCH 'WORLDLY GRAY' (EQ. TO CARLISLE 'SANDSTONE')  
 ACCENT: NORTH CONDUCTOR HEADS AND DOWNSPOUTS TO MATCH 'DOVE TAIL' (EQ. TO CARLISLE 'SLATE GRAY' WHERE ADJACENT TO DARK ACCENT PAINT ONLY)

Prepared by:  
Steven A. Meade, Esq.  
VSB #37150  
Patten Wornom Hatten & Diamonstein, LC  
12350 Jefferson Avenue, Suite 300  
Newport News VA 23602

After recording return to:  
Office of the City Attorney  
22 Lincoln Street  
Hampton, Va. 23669  
Attention: Bonnie Brown, Esq.

LRSNs:  
700 Shell Road – LRSN 1004270  
750 Shell Road – LRSN 13004501

### **PROFFER AGREEMENT**

**THIS PROFFER AGREEMENT** (“Agreement”) made this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by and between the **ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF HAMPTON VIRGINIA**, a political subdivision of the Commonwealth of Virginia (“EDA” and “Grantor” for recording purposes); **THE CITY OF HAMPTON**, a municipal corporation of the Commonwealth of Virginia (the “City” and “Grantor” for recording purposes); **PHENIX INDUSTRIAL LLC**, a Virginia limited liability company with a principal place of business at 11864 Canon Blvd, Suite 103, Newport News, Virginia 23606 (“Phenix” and “Grantor” for recording purposes); and **NP HAMPTON COMMERCE CENTER, LLC**, a Missouri limited liability company qualified to do business in Virginia with a principal place of business at 3315 N. Oak Trafficway, Kansas City, MO 64116 (“NP Hampton” or “Grantor”), (collectively, “Grantor”); and **THE CITY OF HAMPTON**, a municipal corporation of the Commonwealth of Virginia (the “City” and “Grantee”), with an address of 22 Lincoln Street, Hampton City Hall, Hampton, Va. 23669.

### RECITALS

- A. NP Hampton is the contract purchaser of and will become the owner of certain parcels of property located in the City of Hampton known as 750 Shell Road (LRSN 13004501) and 700 Shell Road (LRSN 1004270).
- B. The EDA is the current owner of 750 Shell Road (LRSN 13004501), containing 42± acres, which is more fully described on “Exhibit A” (the “EDA Property”).
- C. Phenix is the current owner of 700 Shell Road (LRSN 1004270), containing 20± acres, which is more fully described on “Exhibit A” (the “Phenix Property”).
- D. The City is the current owner of a certain public right-of-way abutting the western property line of the Phenix Property known as Pine Avenue, a 1.4+/- acre portion of which is incorporated within this Agreement, subject to the approval of the City Council (“the Pine Avenue Property”);
- E. For purposes of this Agreement, the EDA Property, Pine Avenue Property, and Phenix Property shall collectively be referred to as “the Property.”
- F. NP Hampton, as contract purchaser of the Property, has initiated a conditional amendment to the zoning map of the City of Hampton, Virginia, by petition addressed to the Grantee, so as to change the zoning classification of the Property from the One Family Residential (R-13) district to the Light Manufacturing (M-2) district.
- G. NP Hampton has requested approval of this Agreement.
- H. Grantee’s policy is to provide for the orderly development of land for various purposes, including commercial purposes, through zoning and other land development legislation.



- I. Grantor desires to offer the City of Hampton certain conditions for the enhancement of the community and to provide for the highest quality and orderly development of the Property.
- J. The conditions outlined in this Agreement have been proffered by Grantor and allowed and accepted by Grantee as part of the amendment of the City of Hampton Zoning Ordinance and Zoning Map. These conditions shall continue in full force and effect until a subsequent amendment changes the zoning of the Property; provided, however, that such conditions shall continue if the subsequent amendment is part of the comprehensive implementation of a new or substantially revised zoning ordinance of Grantee.

NOW, THEREFORE, for and in consideration of the approval and acceptance by the of the City of this Agreement, Grantor agrees that it will meet and comply with all of the following conditions in developing the Property. In the event the requested change of zoning classification is not granted by the City, these Proffers shall thereupon become null and void. Grantor, its heirs, successors, assigns, grantees and other successors in title or interest to the Property, voluntarily and without any requirement by or exaction from Grantee or its governing body and without any element or compulsion or quid pro quo for zoning, rezoning, site plan, building permit or subdivision approval, makes the foregoing declaration of conditions and restrictions governing the use and physical development and operation of the Property, and covenants and agrees that this declaration and the further terms of this Agreement shall constitute covenants running with the Property, which shall be binding upon the Property, and upon all persons and entities claiming under or through the Grantor, its heirs successors and assigns, grantees and other successors in interest or title to the Property; namely:

### **CONDITIONS**

1. Uses Permitted. Use of the property shall be limited to the following:

- a. Office, general
- b. Office, government
- c. Office, laboratory or research
- d. Machine shop or light metal fabrication
- e. Manufacturing/processing/treatment 1, excluding uses of the same general character as firearms, tools, dies, meat and poultry products, furniture and light wood products
- f. Manufacturing/processing/treatment 4;
- g. Warehouse/distribution center
- h. Wholesaler

Notwithstanding subsection 1(g) above, no more than 25% of the total square footage may be used for “Dead Warehousing.” For purposes of this Agreement, “Dead Warehousing” shall mean the bulk storage of goods for periods of time exceeding 120 days or more before such goods are exported or distributed for sale. Upon a written request by the Zoning Administrator, Grantor shall provide any such data and information as may be necessary, in the discretion of the Zoning Administrator, to verify compliance with this provision.

2. Parcel Lines The existing parcel line between the EDA Property and Phenix Property shall be vacated and new two (2) new parcels created, subject to approval by the City of Hampton and recordation of a boundary line adjustment plat, which shall be in substantial conformance with that certain plat entitled, “Phenix Parcel Plan,” dated “8/17/2022”, prepared by, Kimley Horn, (the “Parcel Plan”), a copy of which is on file with the Community Development Department and have been exhibited to the Hampton City Council for illustrative purposes and to provide justification for this rezoning action a copy of which is on file with the Planning and Zoning Division of the Community Development Department and has



been exhibited to the Planning Commission and the Hampton City Council for illustrative purposes and to provide justification for the re-zoning action.

3. Conceptual Plan. The Property shall be developed in substantial conformance with the conceptual plan entitled “Phenix Site Plan,” dated 8/17/2022, prepared by Kimley Horn, (the “Conceptual Plan”), a copy of which is on file with the Community Development Department and have been exhibited to the Hampton City Council for illustrative purposes and to provide justification for this rezoning action. Minor changes to the Conceptual Plan may be made to accommodate environmental, engineering, architectural, topographic or other development conditions, or site/subdivision plan approval requirements as required by law and subject to the approval of the Director of Community Development or his designee. A copy of the final approved site plan shall be on file with the Planning Division of the Department of Community Development and shall supersede any previously filed Conceptual Plan. The following specific requirements shall be met:

- a. All buildings and accessory structures, except for fences, walls, and signs, shall be set back a minimum of 150’ from the eastern Property and 125’ from the southern Property lines as depicted on the Conceptual Plan. Existing mature trees within the stated setbacks shall be preserved to the maximum extent practicable, as determined by the Zoning Administrator.
- b. Ingress and egress to and from the Property shall be from Aberdeen Road only. Access from Shell Road shall be limited to emergency vehicles and controlled by gated access, as approved by the City’s Fire Chief or their designee.
- c. Building height shall be limited to 50 feet maximum with additional setbacks as may be required by the City of Hampton Zoning Ordinance for the M-2 district.

- d. Fence height shall not exceed 10’.
- e. Sound wall height shall not exceed 16’.
- f. All buildings on the property shall incorporate a minimum of one (1) loading dock—with a complete dock package (shelters, canopies, lights, locks, etc.)—per 10,000 square feet of the subject building

4. Landscaping. The Property shall be developed in substantial conformance with the landscape plan entitled, “Concept Landscape Plan,” dated 8/17/22, prepared by Kimley Horn, (the “Landscape Plan”), including but not limited to by installation of vegetated buffers screening the Property along all Property lines in accordance with the City of Hampton Landscape Guidelines. Minor changes to the Landscape Plan may be made to accommodate environmental, engineering, architectural, topographic or other development conditions, or site/subdivision plan approval requirements as required by law and subject to the approval of the Director of Community Development or his designee. A copy of the final approved Landscape Plan shall be on file with the Planning Division of the Department of Community Development and shall supersede any previously filed Landscape Plan.

- a. A sound attenuation wall shall be installed along the eastern Property boundary, beginning 20 feet from the northeast corner and extending approximately 690± feet to the south, as depicted on the Landscape Plan. Such sound wall shall be located on the west side of the 20 foot landscape buffer, which is also depicted on the Landscape Plan within the “East Buffer - Modified Type E Buffer” detail. The manufacturer specifications, height, dimensions, and materials of the sound wall shall be submitted to the Director of Community Development for approval prior

to installation to ensure its efficacy and aesthetic compatibility with the surrounding area.

- b. Maintenance of landscaping and the sound wall shall be a continuing obligation of the Grantor, and Grantor shall be responsible for providing, protecting, and maintaining all landscaping in healthy and growing conditions at all times, replacing unhealthy fifty (50) percent or more, dead or completely dead plant material, within ninety (90) days upon written notice of violation from the City, except when replacements should be delayed because of seasonal factors until the next planting season. Replacement materials shall conform to the original intent of the approved Landscape Plan as determined by the City.

5. Traffic Signal. The Grantor shall design and construct a signalized intersection at Aberdeen Road and the main access road for the project, as depicted on the Conceptual Plan, to provide primary ingress and egress to the Property. The design of the intersection must be approved by the City and shall be designed to permit 18-wheel tractor trailers traveling South and turning left into the Property, and 18-wheel tractor trailers traveling North and turning right out of the Property.

6. Pine Avenue Shared Use Path. If the Pine Avenue Property is vacated by the City Council, the Grantor shall construct and maintain a minimum 10' wide shared-use path within the vacated area, extending from the new Pine Avenue cul-de-sac shown on the Conceptual Plan north to the existing Hampton Roads Transit (HRT) bus stop, which is located at the southeast intersection of Aberdeen Road and Pembroke Avenue, as depicted on the Conceptual Plan. The shared-use path shall include a decorative thermoplastic stamped asphalt crosswalk across the main entrance to the Property.

7. Building Elevations & Design Standards. All buildings constructed on the Property shall be in substantial conformance with the elevations entitled “Project Phenix,” dated 3/9/2021, prepared by Studio North Architecture, (the “Elevations”), copies of which are on file with the Community Development Department and have been exhibited to the Hampton City Council for illustrative purposes and to provide justification for this rezoning action. Minor changes in the Elevations may be made to accommodate environmental, engineering, architectural, topographic or other development conditions, building code, or site/subdivision plan approval requirements as required by applicable law and/or regulations and subject to approval of the Director of Community Development or his designee. A copy of the final approved Elevations shall be on file with the Planning Division of the Community Development Department and shall supersede any previous Elevations.

a. All permitted accessory buildings, structures, and other improvements on the Property, which are not depicted on the Elevations, shall be constructed in substantial conformance with the EDA’s adopted “Copeland Industrial Park Design Guidelines,” dated June 20, 2017, including but not limited to the following provisions:

(i) All buildings and structures shall be constructed of permanent and durable building materials. Primary materials shall include tilt-up concrete panels, pre-cast concrete, steel and aluminum exposed framing, glass (both vision and obscure), and/or pre-engineered metal. Secondary materials (constituting no more than 25%) may include cement fiber board, corrugated metal, and EFIS (exterior finishing insulated system with non-foam backing) materials.

- (ii) Razor wire, barbed wire, electrified fencing, and uncoated chain link fencing shall not be permitted.
- (iii) Screening of outdoor material storage, equipment storage, mechanical equipment, and dumpsters shall be accomplished such that it is not readily visible from any existing or proposed public right-of-way or any adjacent property at existing grade, not to include the interstate. Screening may be accomplished through natural and/or constructed materials.
- (iv) All site and building lighting shall be downward and inward facing and shall be installed and maintained in accordance with the "City of Hampton Outdoor Lighting Policy & Procedures," as amended. In addition, all lighting shall be LED fixtures.

8. Operational Conditions.

- a. Idling of vehicles for longer than 15 consecutive minutes shall not be permitted during the hours 10:00 p.m. to 6:00 a.m. daily.

9. It is understood that all phases of the proposed project shall comply with all ordinances of the City of Hampton.

10. Further lawful conditions or restrictions against the Property may be required by Grantee during the detailed Site Plan review and administration of applicable codes and regulations of Grantee by all appropriate agencies and departments of Grantee, which shall be observed or performed by Grantor. Grantor acknowledges that additional further lawful conditions or restrictions may be imposed by Grantee as a condition of approvals, including but not limited to final site plan approval.

11. All references hereinabove to zoning districts and to regulations applicable thereto, refer to the City Zoning Ordinance of the City of Hampton, in force as of the date the conditional rezoning amendment is approved by the Grantee.

12. The Grantor covenants and agrees that (1) the Zoning Administrator of the City of Hampton, Virginia, shall be vested with all necessary authority on behalf of the governing body of the City of Hampton, Virginia, to administer and enforce the foregoing conditions and restrictions specified in this Agreement, including (i) the ordering in writing of the remedying of any noncompliance with such conditions, and (ii) the bringing of legal action or suit to ensure compliance with such conditions, including mandatory or prohibitory injunction, abatement, damages or other appropriate action, suit or proceedings; (2) the failure to meet all conditions shall constitute cause to deny the issuance of any of the required building or occupancy permits as may be appropriate; and (3) the Zoning Map shall show by an appropriate symbol on the Map the existence of conditions attaching to the zoning of the subject Property on the Map and that the ordinance and conditions may be made readily available and accessible for public inspection in the office of the Zoning Administrator and in the Department of Community Development and that this Agreement shall be recorded in the Clerk's Office of the Circuit Court of the City of Hampton, Virginia and indexed in the name of the Grantor and Grantee.

WITNESS the following signatures:

**PHENIX INDUSTRIAL LLC:**

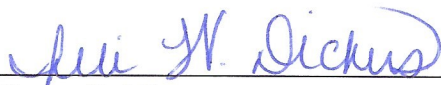


By: Greg Garrett

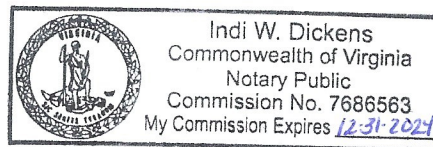
Its: Partner

STATE OF VIRGINIA  
City of Hampton, to-wit:

I, Indi W. Dickens, the undersigned, a Notary Public in and for the City and State aforesaid, do hereby certify that Greg Garrett, whose name is signed to the foregoing instrument as (title) Partner of Phenix Industrial LLC, a Virginia (type of entity) LLC, has sworn to, subscribed, and acknowledged the same before me in the City and State aforesaid, this 29<sup>th</sup> day of September, 2022 on behalf of said LLC. He/she ☒ is personally known to me or ☐ has produced \_\_\_\_\_ as identification.

  
Notary Public

My commission expires: 12-31-2024  
Registration No. 7686563





PHENIX INDUSTRIAL LLC:

[Signature]  
By: Lynn Howard  
Its: manager

STATE OF VIRGINIA  
City of Hampton, to-wit:

I, Mary S Bonniwell the undersigned, a Notary Public in and for the City and State aforesaid, do hereby certify that Lynn Howard, whose name is signed to the foregoing instrument as (title) manager of Phenix Industrial LLC a Virginia (type of entity) LLC, has sworn to, subscribed, and acknowledged the same before me in the City and State aforesaid, this 29 day of September, 2022 on behalf of said Phenix Industrial LLC (He/she ☒ is personally known to me or ☐ has produced Drivers license as identification.



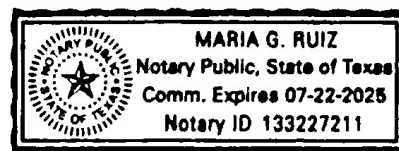
[Signature]  
Notary Public

My commission expires: 4/30/2024  
Registration No. 359729

☒ personally known to me or ☐ has produced N/A as identification.

Maria G. Ruiz  
Notary Public

My commission expires: 07/22/2022  
Registration No. 133227211



**PHENIX INDUSTRIAL LLC:**

By: Sheth Majka  
Its: \_\_\_\_\_

STATE OF VIRGINIA  
City of Hampton, to-wit:

I, MARIA G. RUIZ, the undersigned, a Notary Public in and for the City and State aforesaid, do hereby certify that TRESSA MAJKA, whose name is signed to the foregoing instrument as (title) \_\_\_\_\_ of PHENIX INDUSTRIAL LLC, a Virginia (type of entity) LLC, has sworn

**NP HAMPTON COMMERCE CENTER, LLC:**

A Missouri limited liability company

By: NPD Management, LLC, its Administrative Representative

  
\_\_\_\_\_

By: Nathaniel Hagedorn

Its: Manager

STATE OF VIRGINIA

City of Hampton, to-wit: .

I, Lisa Beasley, the undersigned, a Notary Public in and for the City and State aforesaid, do hereby certify that Nathaniel Hagedorn, whose name is signed to the foregoing instrument as Manager of NPD Management, LLC, the Administrative Representative of NP Hampton Commerce Center, LLC, a Missouri limited liability company, has sworn to, subscribed, and acknowledged the same before me in the City and State aforesaid, this 30<sup>th</sup> day of September, 2022 on behalf of said Limited liability company. He is personally known to me.

  
\_\_\_\_\_  
Notary Public

My commission expires: 9-10-23  
Registration No. 19497557

**ECONOMIC DEVELOPMENT AUTHORITY  
OF THE CITY OF HAMPTON:**

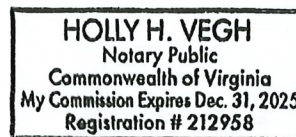
L. Scott Seymour, CHAIR  
By: L. SCOTT SEYMOUR, CHAIR

STATE OF VIRGINIA  
City of Hampton, to-wit:

I, Holly H. Vegg, the undersigned, a Notary Public in and for the City and State aforesaid, do hereby certify that L. Scott Seymour, whose name is signed to the foregoing instrument as (title) Chair of the Economic Development Authority of the City of Hampton, a Virginia (type of entity) political subdivision, has sworn to, subscribed, and acknowledged the same before me in the City and State aforesaid, this 28th day of September, 2022 on behalf of said Authority. He/she ☒ is personally known to me or ☐ has produced \_\_\_\_\_ as identification.

Holly H. Vegg  
Notary Public

My commission expires: December 31, 2025  
Registration No. 212958



THE CITY OF HAMPTON, VIRGINIA:

May 2/2022  
By: Mary B. Bunting, City Manager

STATE OF VIRGINIA  
City of Hampton, to-wit:

I, Jennifer Christine Green, the undersigned, a Notary Public in and for the City and State aforesaid, do hereby certify that Mary B. Bunting, whose name is signed to the foregoing instrument as (title) City Manager of Hampton, a Virginia (type of entity) municipal corporation, has sworn to, subscribed, and acknowledged the same before me in the City and State aforesaid, this 29th day of September, 2022 on behalf of said municipal corporation. He/she ☒ is personally known to me or ☐ has produced \_\_\_\_\_ as identification.

Jennifer Christine Green  
Notary Public

My commission expires: 9/30/2023  
Registration No. 7661192



**Exhibit A**  
**Legal Description**

Legal Description  
700 & 750 Shell Road  
Hampton, Virginia

Parcel VDBS – 750 Shell Road (LRSN 13004501)

All that certain lot or parcel of land located in the City of Hampton, Virginia, and designated as Parcel VDBS, containing 1,838,639 S.F. – 42.209 Acres, and the property owned by the Economic Development Authority for the City of Hampton. Said parcel being more particularly described as follows:

Beginning at a point at the intersection of the southerly right-of-way line of Shell Road and the Westerly right-of-way line of Childs Ave, and from this point of beginning running along the westerly right-of-way line of Childs Avenue, THENCE South 15°32'36" East, 691.38 feet to a point; THENCE North 71°24'54" East, 463.27 feet to a point; THENCE South 9°10'03" East, 846.03 feet to a point; THENCE South 71°49'49" West, 1,000.51 feet to a point; THENCE South 71°39'49" West, 50.10 feet to a point; THENCE North 34°40'11" West, 1,624.14 feet to a point on the southerly right-of-way line of Shell Road, the beginning of a non-tangent curve concave southeasterly, THENCE along the southerly right-of-way line of Shell Road, along a curve with a radius of 547.96 feet, an arc distance of 280.69 feet, a central angle of 29°20'59", a chord bearing of North 62°05'41" East and a chord distance of 277.63 feet to a point; THENCE North 76°46'11" East, 942.56 feet to the point of beginning.

Said Parcel VDBS is also shown on that certain plat made by Michael Surveying & Mapping, PC. Entitled "Property Line Vacation Plat of the Property of The City of Hampton, being LRSN Numbers 13002596 & 13002595, City of Hampton, Virginia, dated October 18, 2016, a copy of which plat is recorded in the Clerk's Office, Circuit Court, City of Hampton, Virginia, in Misc. Plat Book 5 Page 5, reference to which plat is hereby made for a more particular description.

700 Shell Road (LRSN 1004270)

All that certain lot or parcel of land located in the City of Hampton, Virginia, and designated as 700 Shell Road, containing 875,183 S.F. – 20.091 Acres, the property is owned by Phenix Industrial, LLC. Said parcel being more particularly described as follows:

Beginning at a point at the intersection of the southerly right-of-way line of Shell Road and the Easterly right-of-way line of Pine Ave, and from this point of beginning running along the westerly right-of-way line of Shell Avenue, THENCE North  $40^{\circ}19'29''$  East, 260.67 feet to the beginning of a curve concave southeasterly, THENCE along a curve with a radius of 547.96 feet, an arc distance of 67.37 feet to a point, a central angle of  $7^{\circ}02'41''$ , a chord bearing of North  $43^{\circ}53'51''$  East and a chord distance of 67.33 feet to a point; THENCE departing the southerly right-of-way line of Shell Road, South  $34^{\circ}40'11''$  East, 1,624.14 feet to a point; THENCE South  $73^{\circ}53'50''$  West, 700.05 feet to a point; THENCE South  $61^{\circ}29'36''$  West, 158.09 feet to a point on the Easterly right-of-way line of Pine Ave; THENCE along the Easterly right-of-way line of Pine Ave, North  $19^{\circ}58'39''$  West, 138.31 feet to a point; THENCE North  $14^{\circ}07'02''$  West, 190.13 feet to a point; THENCE North  $15^{\circ}13'56''$  West, 315.28 feet to a point; THENCE North  $14^{\circ}44'39''$  West, 174.82 feet to a point; THENCE North  $14^{\circ}26'14''$  West, 160.08 feet to a point; THENCE North  $13^{\circ}28'45''$  West, 250.28 feet to a point; THENCE North  $10^{\circ}17'23''$  West, 125.67 feet to a point; THENCE North  $16^{\circ}00'37''$  East, 50.38 feet to the point of beginning.

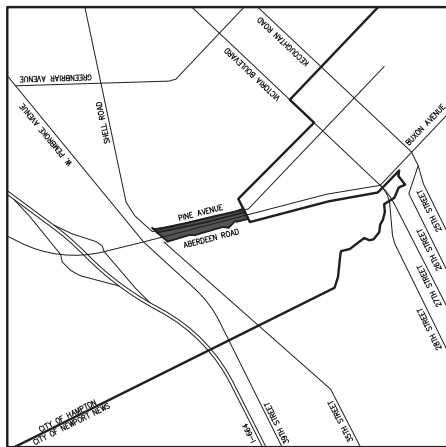


Legal Description

Pine Avenue Vacation (portion thereof)

Hampton, Virginia

All that certain lot, piece, or parcel of land containing 71,960 square feet (1.6520 acre), more or less, situate, lying, and being in the City of Hampton, Virginia, and being described as “CITY RESERVE PARCEL TO BE VACATED”, as shown in the area hatched on that certain plat or sketch entitled: “PLAT SHOWING A PORTION OF ABERDEEN ROAD/PINE AVENUE TO BE VACATED HAMPTON, VA,” said plat/sketch bearing a date of March 30, 2020, which is attached hereto as Exhibit “A” for reference and made a part of this legal description (the “Vacation Area”).



VICINITY MAP  
(SCALE: 1" = 1/4 MILE)

DISCLAIMER FOR ELECTRONICALLY TRANSMITTED DOCUMENTS

THE ORIGINAL SIGNED VERSION OF THIS PLAN OR PLAT IS ON FILE AT THE CITY OF HAMPTON PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION AT 22 LINCOLN STREET, HAMPTON, VIRGINIA. NEITHER THE CITY OF HAMPTON NOR THE LICENSED LAND SURVEYOR WHO PREPARED THIS PLAN OR PLAT ASSUMES ANY RESPONSIBILITY FOR SUBSEQUENT CHANGES TO THE INFORMATION OR DATA SHOWN ON THE ORIGINAL SIGNED VERSION, WHICH ARE NOT MADE BY THE SURVEYOR OR HIS EMPLOYEES OR AGENTS, BUT BY ANY OTHER PERSONS OR PERSONS WHOSE ACTIONS OR OMISSIONS MAY BE THE CAUSE OF SUCH CHANGES. THE SURVEYOR OR HIS EMPLOYEES OR AGENTS WILL NOT BE RESPONSIBLE FOR ANY SUCH CHANGES OR FOR ANY DAMAGE TO ANY PERSON OR PROPERTY CAUSED BY SUCH CHANGES.

THE COORDINATE SYSTEM THIS TOPOGRAPHIC SURVEY IS BASED ON IS SUBJECT TO THE ELECTRONIC DOCUMENT DISCLAIMER.

NOTES:

1. THE LAND BOUNDARY SURVEY SHOWN HEREON IS BASED UPON A CURRENT FIELD SURVEY.
2. A CURRENT TITLE REPORT WAS NOT FURNISHED FOR THIS SURVEY.
3. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF HAMPTON AND ALL MATTERS OF PUBLIC RECORD.
4. NO ORIGINAL MONUMENTS WERE FOUND FOR THE COMBINED ABERDEEN ROAD/PINE AVENUE RIGHT-OF-WAY IN THE FIELD. TO ESTABLISH THE LOCATION OF ABERDEEN/PINE, MONUMENTATION ALONG THE RIGHTS-OF-WAY OF SHELL ROAD IN THE CITY OF HAMPTON, AND PINE AVENUE IN THE CITY OF NEWPORT NEWS, WAS USED TO DETERMINE THE BEARINGS OF SHELL & PINE HELD TO THE VDOT PROJECT PLANS LISTED BELOW.

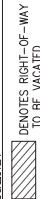
ADDITIONAL REFERENCES:

RESOLUTION OF THE COMMONWEALTH TRANSPORTATION BOARD, SEPT. 18, 2018, AGENDA ITEM #9 (LIMITED ACCESS CONTROL CHANGE, ABERDEEN ROAD)  
P.B. 1, PG. 41  
VDOT PROJECT #0064-114-000, MICROFILM #4064/75  
(STATE HIGHWAY PLAT BOOK 2, PG. 219-220)  
(STATE HIGHWAY PLAT BOOK 3, PG. 30-32)  
VDOT PROJECT #0064-114-000, MICROFILM #425588  
(STATE HIGHWAY PLAT BOOK 4, PG. 154)  
D.B. 94, PG. 318-319 (PLAT)  
D.B. 67, PG. 346-349 (PLAT)

ACREAGE CALCULATIONS:

	Square Footage	Acreage
Ex. Aberdeen Road/Pine Avenue Right-of-Way	254634	5.8456
City Reserve Parcel (Former Pine Avenue Right-of-Way)	71960	1.6520
Remaining Aberdeen Road Right-of-Way	182674	4.1936

LEGEND:

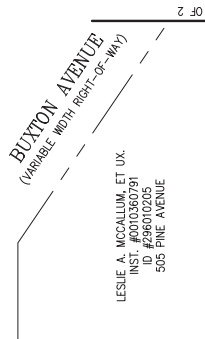


Plat Showing  
a Portion of Aberdeen Road/Pine Avenue  
To be Vacated  
Hampton, VA

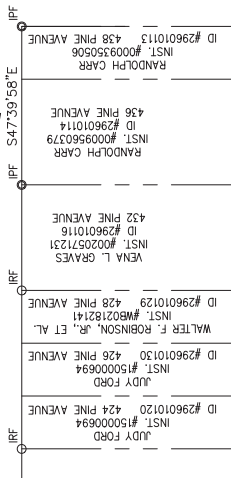


CITY SURVEYOR - RANDALL J. EDWARDS, L.S.  
CITY ENGINEER - JAMES M. HARRIS, L.S.  
PUBLIC WORKS ENGINEERING  
22 LINCOLN ST., HAMPTON VA 23669

SURVEY BY: R.J. Edwards, L.S. DATE: 30 March, 2020  
CALC BY: R.J. Edwards, L.S. REVISED: 30 Sept., 2022  
DRAWN BY: R.J. Edwards, L.S. SCALE: 1" = 50'  
CHMD BY: R.J. Edwards, L.S. SHEET 1 OF 2



PINE AVENUE  
(60' RIGHT-OF-WAY)



CERTIFICATION STATEMENT:

This map and plat were prepared by me in conformance with all provisions of the Virginia Subdivision Map Act, Chapter 13.1 of the Code of Virginia, and the rules and regulations of the Board of Professional Land Surveyors of the State of Virginia. I am a duly licensed Professional Land Surveyor in the State of Virginia. The undersigned does not certify as to the correctness of the streets, boundaries, or other lines as shown on this plat.

City of Hampton, VA Subdivision Agent

Date

City of Hampton, VA Director of Public Works

Date

OWNER'S STATEMENT:

The platting or dedication of the following described land, "Plat Showing a Portion of Aberdeen Road/Pine Avenue To be Vacated, Hampton, VA" is with the free consent and in accordance with the desire of the undersigned owners, proprietors and trustees, if any.

City Manager, City of Hampton, VA

Date

City of Virginia

City of Hampton, to wit:

I, \_\_\_\_\_, a Notary for the City and State aforesaid, do hereby certify that \_\_\_\_\_ (Owner/President/Managing Member [choose one]) whose name is signed to the foregoing writing has acknowledged the same before me in my City and State aforesaid. He/She is personally known to me or has produced \_\_\_\_\_ as identification.  
Given under my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Notary Public

Registration Number: \_\_\_\_\_

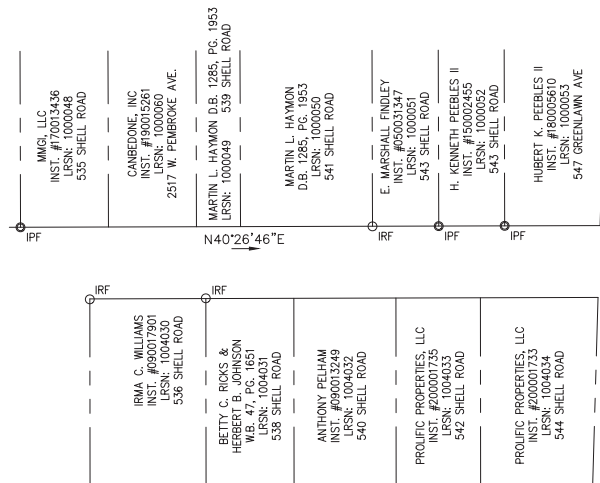
My Commission Expires: \_\_\_\_\_

Commonwealth of Virginia  
City of Hampton, to wit:

In the Clerk's Office of the Circuit Court of the City of Hampton, VA A.D. 20\_\_\_\_, at \_\_\_\_\_ M. the foregoing instrument was this day presented in the office and upon certificate thereto annexed, admitted to record as the law directs in Miscellaneous Plat Book \_\_\_\_\_, Page \_\_\_\_\_.

Teste: Linda Batchelor Smith, Clerk

By: \_\_\_\_\_ Clerk / Deputy Clerk



GREENLAWN AVENUE  
(50' RIGHT-OF-WAY)

SHELL ROAD (VARIABLE WIDTH RIGHT-OF-WAY)

AN D. MUYON & GAY TH. MUYON  
D.B. 901, PG. 223 (PLAT)  
D.B. 901, PG. 223 (PLAT)  
D.B. 901, PG. 223 (PLAT)  
604 SHELL ROAD



SCALE: 1" = 50'



